

VOICES BOARD MEMBERS

Jaime Rabb, Chairperson  
Dulce Vasquez, Vice Chairperson  
Matthew Crawford, Corresponding Secretary  
Sunny Keaton, Parliamentarian  
Jason Saunders, Recording Secretary  
Edward Garren, Treasurer  
Parker Rand, At-Large Rep  
Eric Chavez, Area 1 Rep  
Javonne Sanders, Area 2 Rep  
Abasi Patton, Area 3 Rep  
Vacant, Area 4 Rep  
Estuardo Mazariegos, Community Based Rep  
Emmanuel Alcantar, Education Rep  
Vacant, Youth Rep  
Elizabeth Ebow, Housing Advocate Rep



PLANNING & LAND USE  
COMMITTEE MEMBERS  
Edward Garren (Co-Chair; Board  
Member)  
Estuardo Mazariegos (Co-Chair;  
Board Member)  
Matthew Crawford (Board Member)  
Jason Saunders (Board Member)

**Planning & Land Use Committee**  
Tuesday, February 21, 2023, 6:00PM

**Zoom Meeting Online or By Telephone**  
<https://zoom.us/j/91695010730>  
**Dial (669) 900-6833 to Join the Meeting**  
**Then Enter This Webinar ID: 916 9501 0730**

*Out of an abundance of caution due to the possible attendance and participation of a majority of Voices Neighborhood Council Board Members at this Special Joint Committee meeting, this meeting is noticed as a Special Joint Meeting of the Committee and the Board, in adherence with the State's Brown Act. No action will be taken on behalf of the Board at this meeting of the Committee. Only Committee Members are allowed to vote.*

- 1. Call to Order & Introductions**
- 2. Public Comment on Non-agenda Items (2 minutes per speaker)**
- 3. Appoint New Co-Chair(s)**
- 4. Approval of Minutes from November 2022 Planning & Land Use Meeting**
- 5. Presentation by Michael Pauls for newly proposed gas station/car wash at 4270 Vermont Ave. (ZA-2020-1863-CU) - Discussion/Report/possible action to bring to full board**
- 6. Presentation by "People for Mobility Justice" regarding additional bike lanes in Voices NC area. Discussion/Report/possible action to bring to full board**
- 7. Request for future agenda items**
- 8. Adjourn**

Si requiere servicios de traducción, favor de avisar al Concejo Vecinal 3 días de trabajo (72 horas) antes del evento. Por favor contacte a Jaime Rabb, Chair, al (323) 285-1877 o por correo electrónico a [chair@voicesnc.org](mailto:chair@voicesnc.org) para avisar al Concejo Vecinal.

In conformity with the September 16, 2021 Enactment of California Assembly Bill 361 (Rivas) and due to concerns over Covid-19, The Voices Neighborhood Council Meeting will be conducted entirely with a call-in option or internet-based service option.

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Comments from the public on other matters not appearing on the agenda that are within the Board's jurisdiction will be heard during the General Public Comment period. Please note that under the Brown Act, the Board is prevented from acting on a matter that you bring to its attention during the General Public Comment period; however, the issue raised by a member of the public may become the subject of a future Board meeting. Public comment is limited to 3 minutes per speaker, unless adjusted by the presiding officer of the Board.

AB 361 Updates:

Public comment cannot be required to be submitted in advance of the meeting, only real-time public comment is

required. If there are any broadcasting interruptions that prevent the public from observing or hearing the meeting, the meeting must be recessed or adjourned. If members of the public are unable to provide public comment or be heard due to issues within the Neighborhood Council's control, the meeting must be recessed or adjourned.

Any messaging or virtual background is in the control of the individual board member in their personal capacity and does not reflect any formal position of the Neighborhood Council or the City of Los Angeles.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and upon request will provide reasonable accommodation to ensure equal access to its programs, services, and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or services may be provided upon request. To ensure availability of services, please make your request at least 3 business days (72 hours) prior to the meeting by contacting the Department of Neighborhood Empowerment by calling (213) 978-1551 or email: [NCsupport@lacity.org](mailto:NCsupport@lacity.org)

**PUBLIC POSTING OF AGENDAS** – Neighborhood Council agendas are posted for public review as follows:

- Vermont Square Library, 1201 W. 48th St. Los Angeles, CA 90037
- [www.voicesnc.org](http://www.voicesnc.org)
- You can also receive our agendas via email by subscribing to [L.A. City's Early Notification System \(ENS\)](#)

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**PUBLIC ACCESS OF RECORDS**

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**RECONSIDERATION AND GRIEVANCE PROCESS**

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VOICES NEIGHBORHOOD COUNCIL  
Planning & Land Use Committee

VOICES NEIGHBORHOOD COUNCIL



PLANNING & LAND USE COMMITTEE MEMBERS  
Edward Garren (Co-Chair; Board Member)  
Estuardo Mazariegos (Co-Chair; Board Member)  
Matthew Crawford (Board Member)  
Jason Saunders (Board Member)

## Planning & Land Use Committee **MINUTES**

Tuesday, November 15, 2022, 6:00PM

Zoom Meeting Online or By Telephone

<https://zoom.us/j/91695010730>

Dial (669) 900-6833 to Join the Meeting

Then Enter This Webinar ID: 916 9501 0730

**PRESENT: Edward Garren, Estuardo Mazariegos, Jason Saunders and Mathew Crawford**

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1. **Call to Order & Introductions**
2. **Public Comment on Non-agenda Items** (2 minutes per speaker)
3. **Approval of Minutes from September 2022 Planning & Land Use Meeting** **Approved. 4-0**
4. **Presentation by Patrick Panzarello (representative Ted Moreno) for "Jaguar Metapan" Restaurant located at 4800 Normandie Ave. re: ZA-2021-10232-CUB (Conditional Use-Permit for Onsite Consumption of Beer & Wine) - Discussion/Report/possible action to bring to full board**  
*Voted to bring to full board and write a letter of recommendation. Approved 4-0*
5. **Presentation by "People for Mobility Justice" regarding additional bike lanes in Voices NC area.**  
*Discussion/Report/possible action to bring to full board The committee voted 4-0 to draft a letter of support for bicycle and pedestrian infrastructure and to send to Full Board for a vote. Nominated by J. Saunders Seconded by E. Mazariegos.*
6. **Request for future agenda items**
7. **Adjourn**

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FOOD STORE



FARM STORE





# PROJECT DATA

PRESENT USE  
SELF SERVE CARWASH

PROPOSED USE  
GAS STATION, FOOD STORE AND DRIVE-THRU CARWASH

ASSESSORS PARCEL NO.  
5020-034-039

LEGAL DESCRIPTION  
TR 4403, M B 48-24, LOT FR 2 FR 3 FR 4, MAP SHEET 114B197

CENSUS TRACT #  
2317.10

LOS ANGELES STATE ENTERPRISE ZONE  
ZI-2374

ZONING  
C2-1VL-CPIO

GENERAL PLAN  
NEIGHBORHOOD COMMERCIAL

TYPE OF CONSTRUCTION  
FOOD STORE V-B  
CANOPY II-B  
CARWASH V-B

OCCUPANCY CLASS  
FOOD STORE M  
CANOPY M  
CARWASH B

FIRE SPRINKLERS  
NO

NUMBER OF STORIES  
ONE

HEIGHT  
FOOD STORE 21'-6"  
CANOPY 20'  
CARWASH 18'-6"

LOT COVERAGE:  
FOOD STORE, CANOPY AND CARWASH  
5,118 SF / 13,783 SF = 37.1%

<u>LOT AREA (GROSS):</u>	13,783 SF	0.316 ACRES
<u>PAVED AREA:</u>	8,130 SF	59.0% OF SITE
<u>LANDSCAPED AREA:</u>	535 SF	3.9% OF SITE
<u>BUILDING AREA:</u>	5,118 SF	37.1% OF SITE
- FOOD STORE	1,582 SF	
- CANOPY	2,266 SF	
- CARWASH TUNNEL	900 SF	
- CARWASH EQUIPMENT ROOM	370 SF	

<u>BUILDING</u>	<u>AREA</u>	<u>RATIO</u>	<u>REQ'D</u>	<u>PROVIDED</u>
FOOD STORE	1,582 SF	1/500	3.2	3 IN PARKING LOT
CANOPY	2,266 SF	1/500	4.5	8 FUELING POSITIONS
CARWSH (TUNNEL)	900 SF	1/500	1.8	1 IN CARWASH TUNNEL
CREDIT FROM 4 BICYCLE PARKING				1
<b>TOTAL</b>				<b>13</b>

BICYCLE PARKING ANALYSIS (PER LAMC 12.21 A.16)

<u>REQUIRED</u>	
LONG TERM BIKE STORAGE	2
SHORT TERM BIKE RACK	2

<u>PROVIDED</u>	
LONG TERM BIKE STORAGE	2
SHORT TERM BIKE RACK	2

# PROPOSE NEW FOOD STORE, GAS STATION AND DRIVE-THRU CARWASH

ADDRESS:  
4270 S VERMONT AVE, LOS ANGELES, CA 90037



1 VICINITY MAP THOMAS BROTHER'S (PAGE 674 - GRID E3)  
NOT TO SCALE

DRAWING INDEX

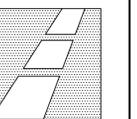
A0.01	TITLE SHEET
A1.01	EXISTING SITE PLAN
A1.02	PROPOSED SITE PLAN
A2.01	FOOD STORE FLOOR PLAN & ROOF PLAN
A2.02	FOOD STORE ELEVATIONS
A2.11	CARWASH FLOOR PLAN & ROOF PLAN
A2.12	CARWASH ELEVATIONS
A2.21	CANOPY PLAN & ELEVATIONS
L0.01	PRELIMINARY LANDSCAPING PLAN

DOCUMENT PREPARED BY:  
GASOLINE RETAIL FACILITIES CONSULTING  
ATTN: ANDREW PASZTERKO - ARCHITECT  
CALIFORNIA LIC # C-12253  
2055 NORTH ALVARADO STREET,  
LOS ANGELES, CALIFORNIA 90039  
O: 323.141.0080 C: 213.359.4860  
andy@gazretail.com

OWNER:  
ATTN: DAVID SHAMTOUB  
PH: 310.779.1526  
EMAIL: dshamtoub@verizon.net

PROJECT TITLE:  
NEW GAS STATION, FOOD STORE  
AND CARWASH

ADDRESS: 4270 S VERMONT AVE, LOS ANGELES, CA 90037



Gasoline  
Retail  
Facilities  
Consulting

SHEET CONTENTS:  
TITLE SHEET

Date: 10.20.2022

Scale: AS SHOWN

Drawn: SZ

Job No. 4247

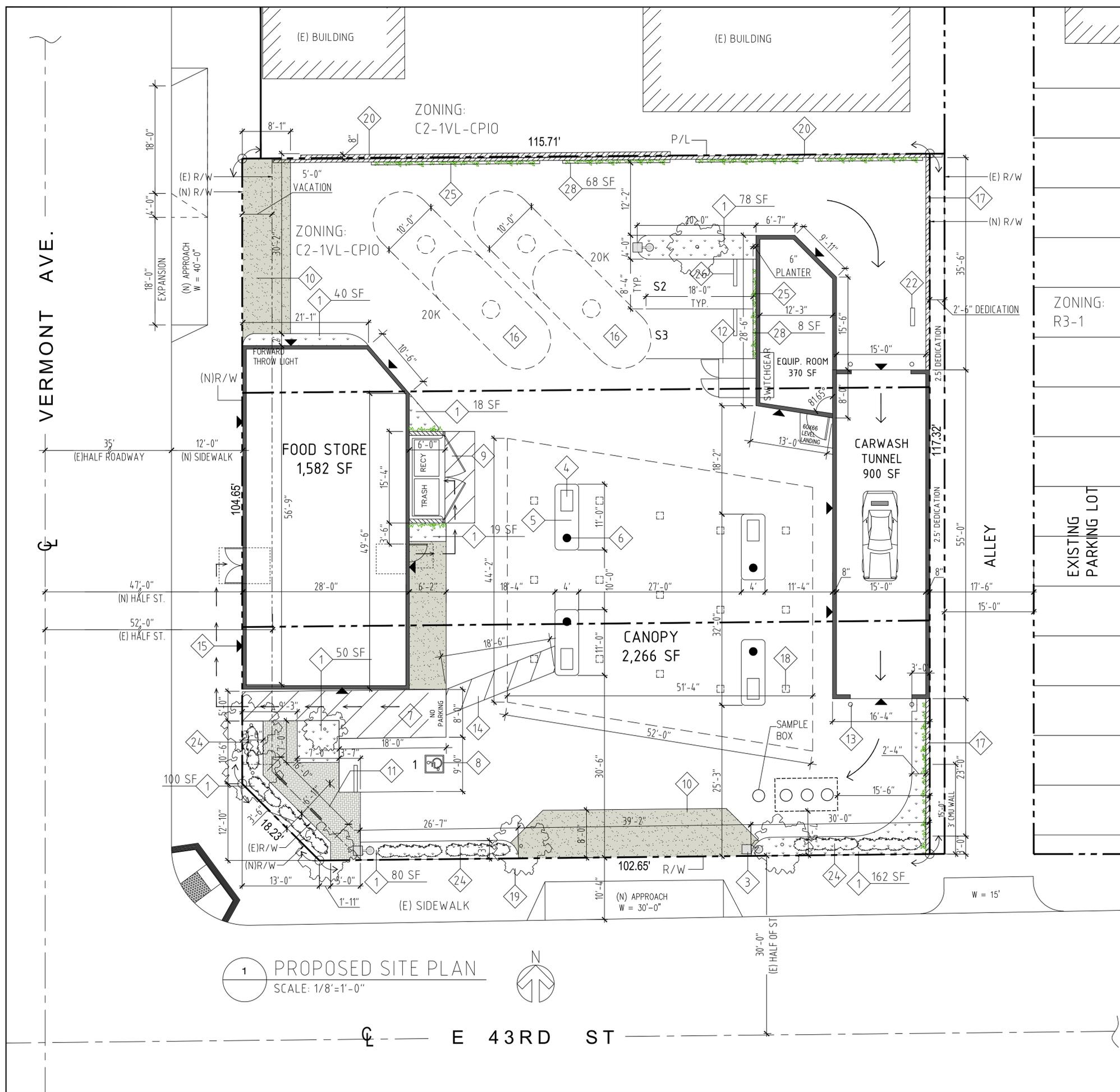
DATE LOG-REVISIONS

REV	DATE	DESCRIPTION

Sheet A0.01

of sheets





1 PROPOSED SITE PLAN  
SCALE: 1/8" = 1'-0"



NOTE:

1. ALL MECHANICAL EQUIPMENT SHALL BE ENCLOSED WITH SOUND BUFFERING MATERIALS.
2. TRUCK LOADING/UNLOADING PROHIBITED BETWEEN THE HOURS OF 10 PM. AND 7 AM, WHEN LOCATED 200' OF A RESIDENTIAL LAND USE.

LEGEND

- 1 LANDSCAPE
- 2 CONCRETE SIDEWALK
- 3 AREA LIGHT (TYP.)
- 4 DISPENSER (TYP. OF 4)
- 5 DISPENSER ISLAND (TYP. OF 4)
- 6 CANOPY COLUMN (TYP. OF 4)
- 7 HANDICAP LOADING ZONE
- 8 HANDICAP PARKING SIGN
- 9 TRASH ENCLOSURE
- 10 DECORATIVE PAVING
- 11 SHORT TERM BICYCLE RACK (TYP. OF 2)
- 12 LONG TERM BICYCLE STORAGE (TYP. OF 2)
- 13 BUMPER POST (TYP.)
- 14 HANDICAP PATH OF TRAVEL
- 15 WALL LIGHT (TYP.)
- 16 UNDERGROUND STORAGE TANK (TYP. OF 2)
- 17 (N) 6' CMU WALL
- 18 CANOPY LIGHT (TYP.)
- 19 SHADE TREES (TYP.)
- 20 (E) 6' CMU WALL
- 21 OMIT-ID&PRICE SIGN
- 22 CARWASH PAY POINT
- 23 SWITCHGEAR
- 24 3 1/2' HIGH HEDGE (TYP.)
- 25 6" WIDE PLANTER FOR CLIMBING VINES
- 26 WHEEL STOP (TYP. OF 2)
- 27 DECORATIVE PEDESTRIAN PAVING
- 28 CLIMBING VINES



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Gasoline  
Retail  
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SHEET CONTENTS:  
PROPOSED  
SITE PLAN

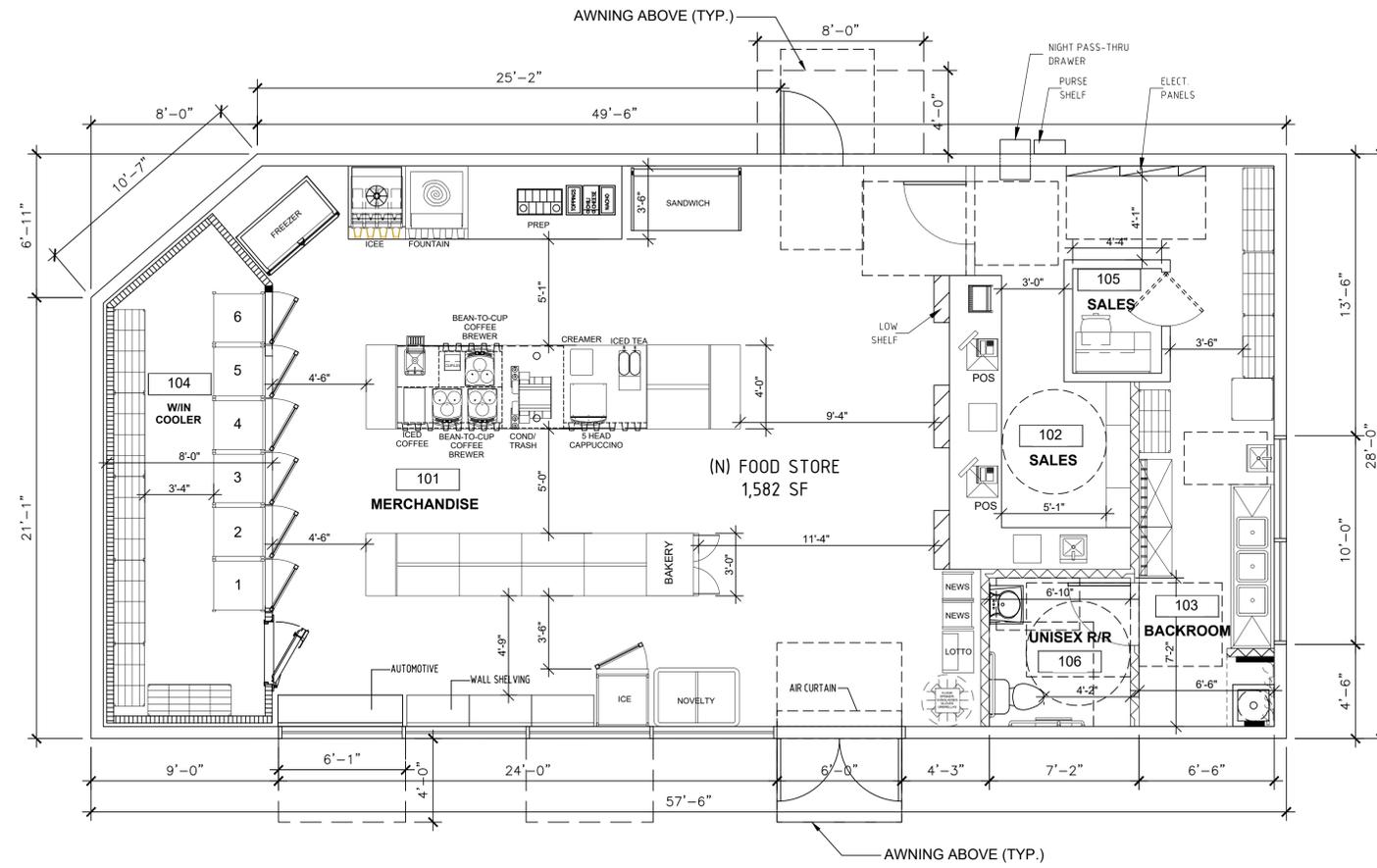
Date:	10.20.2022
Scale:	AS SHOWN
Drawn:	SZ
Job No.:	4247

DATE LOG-REVISIONS

REV	DATE	DESCRIPTION

Sheet  
of

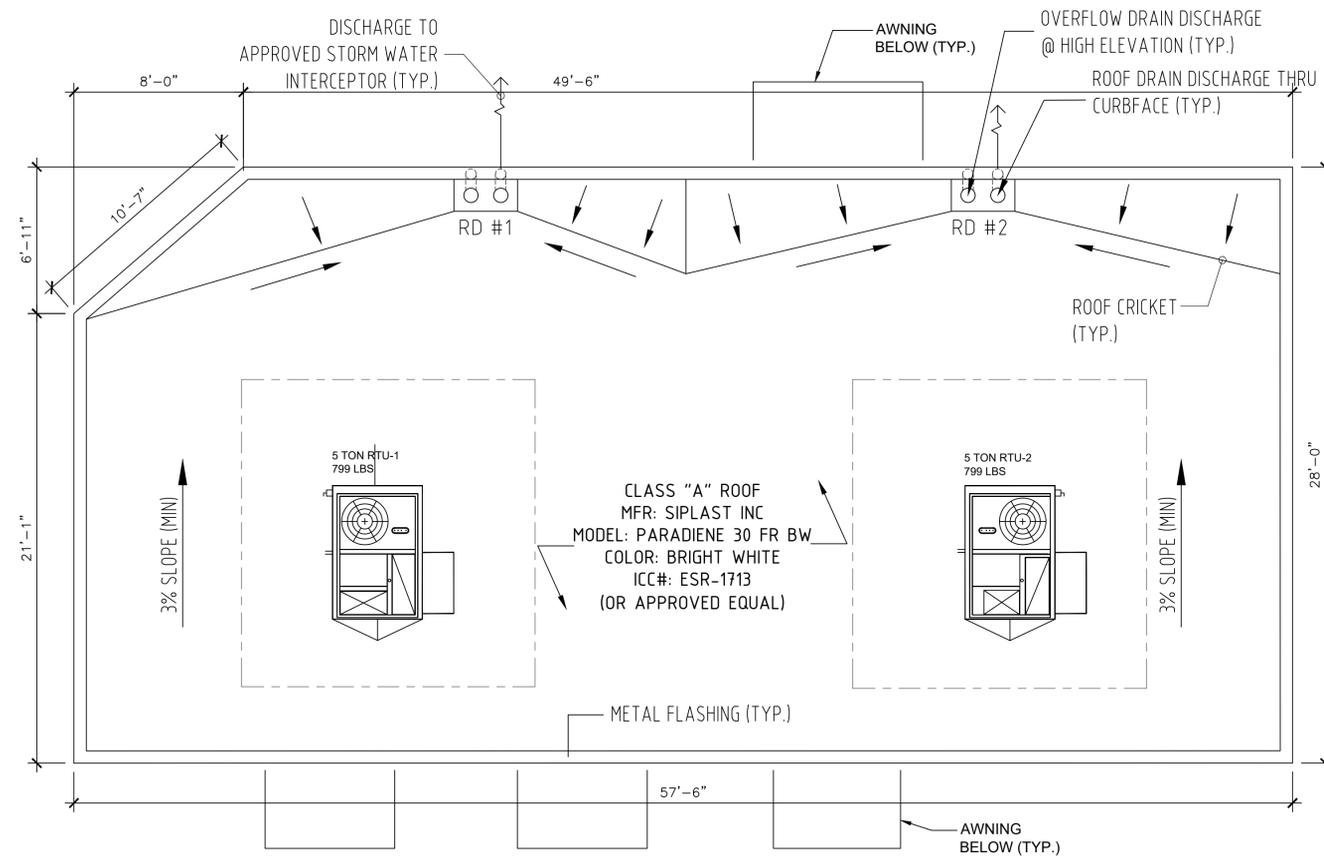
A1.02  
sheets



**LEGEND**

- (N) EXTERIOR FRAME WALL
- (N) INTERIOR PARTITION
- (N) COOLER WALL
- EXIT ACCESS TRAVEL

1 PROPOSED FLOOR PLAN  
SCALE: 1/4"=1'-0"



2 PROPOSED ROOF PLAN  
SCALE: 1/4"=1'-0"



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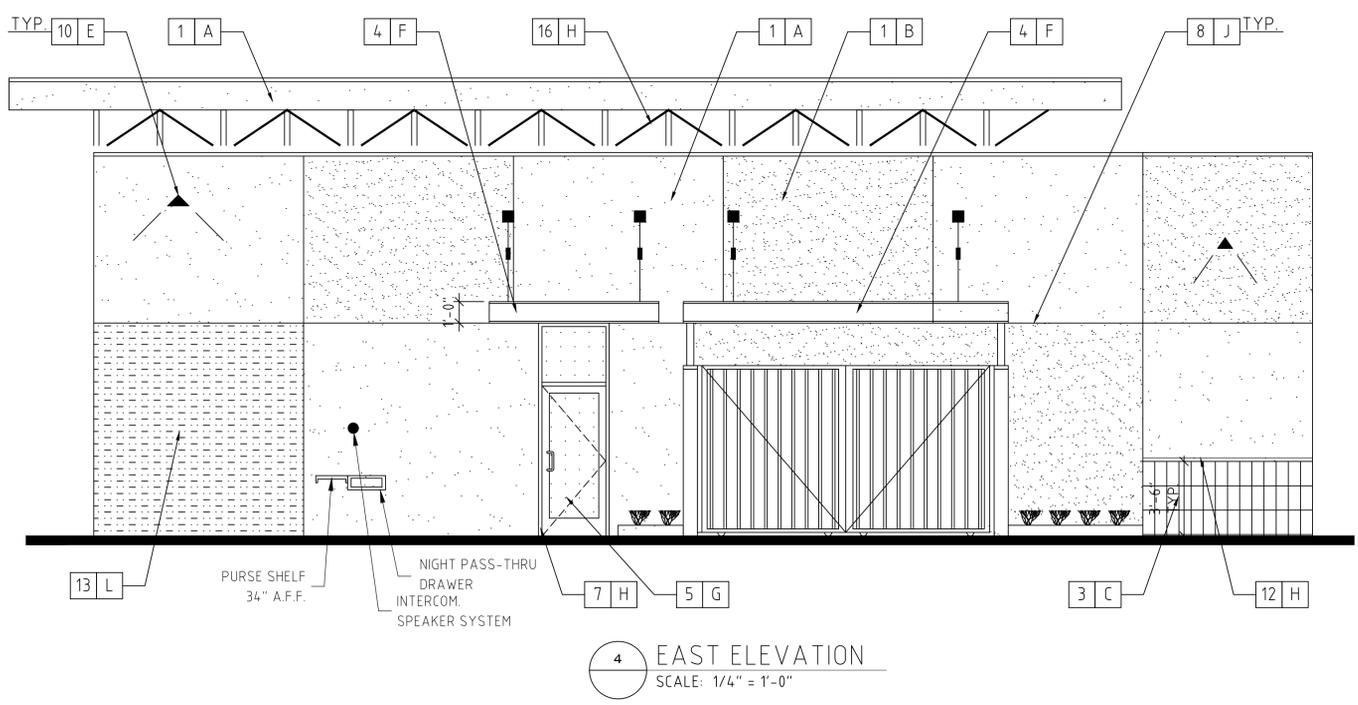
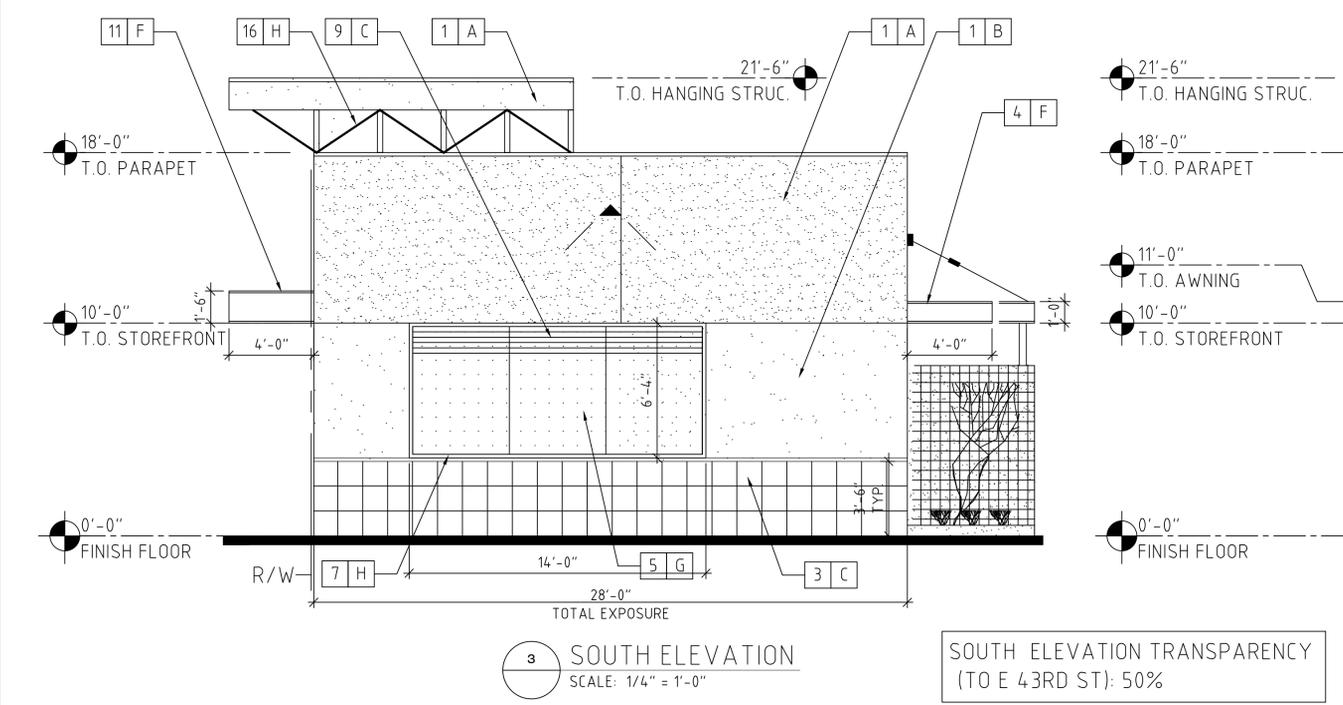
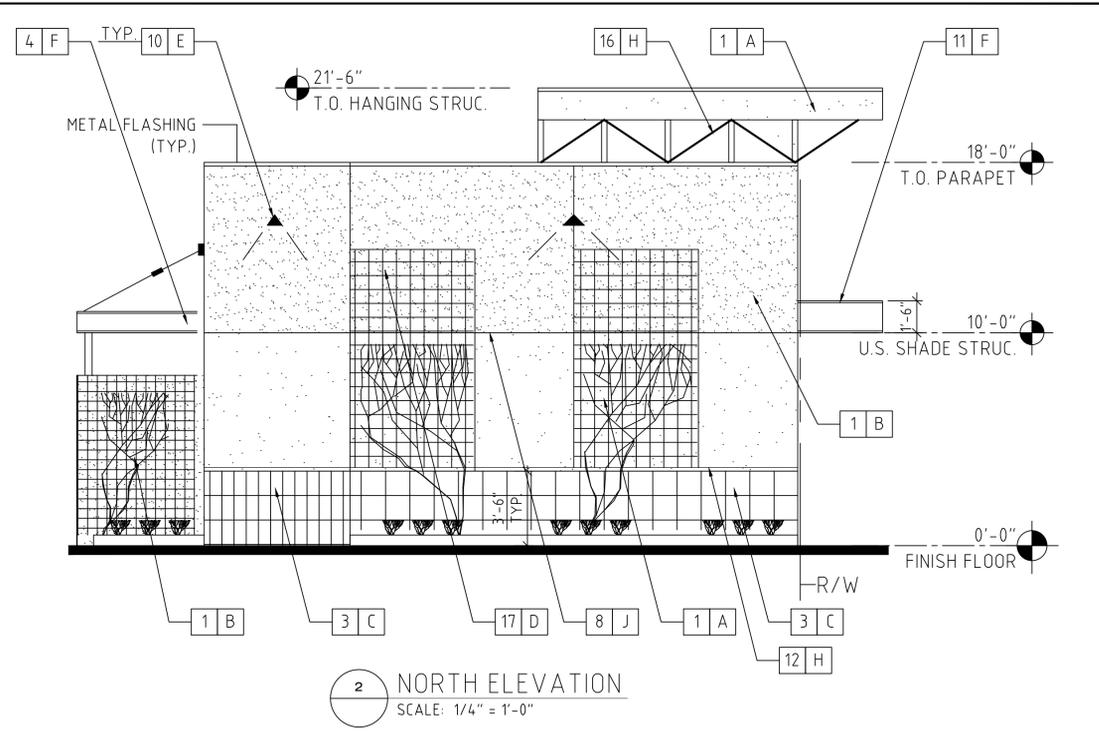
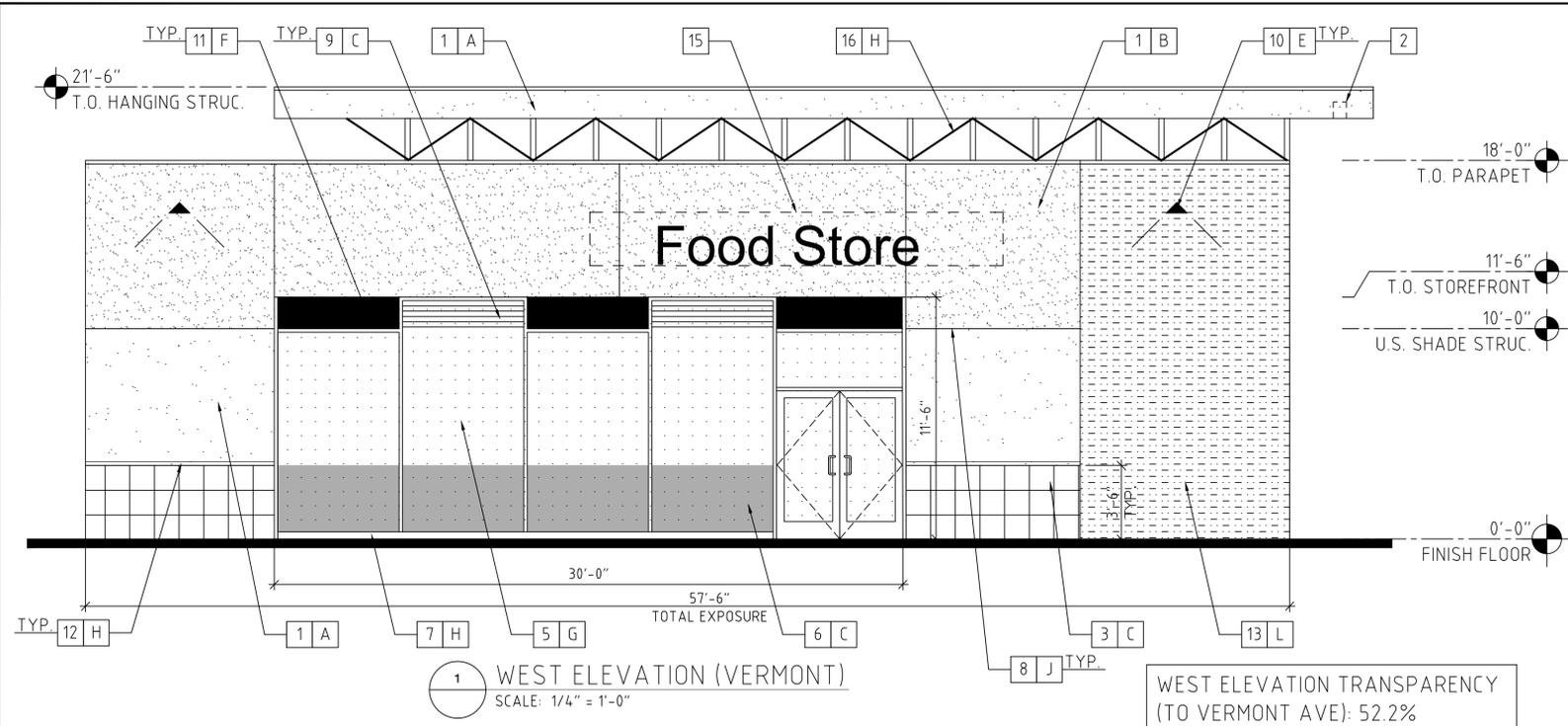


SHEET CONTENTS:  
FOOD STORE  
FLOOR & ROOF PLAN

Date:	10.20.2022
Scale:	AS SHOWN
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Job No.:	4247

REV	DATE	DESCRIPTION

Sheet of A2.01 sheets



LEGEND

MARK	MATERIALS	MARK	MATERIALS	MARK	MATERIALS
1	STUCCO-SMOOTH FIN	9	LOUVERS	17	GREEN SCREEN
2	RECESSED LIGHT	10	WALL WASHER LIGHT		
3	CEMENT PANEL	11	ACM		
4	AWNING	12	FRY REGLET REVEAL		
5	GLAZING	13	THIN BRICK		
6	SPANDREL GLASS	14	CONCRETE		
7	ALUM STOREFRONT	15	SIGN(SEPARATE REVIEW & PERMIT REQUIRED)		
8	CONTROL JOINT	16	STEEL TRUSSES		

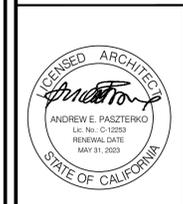
LEGEND

MARK	COLORS	MARK	COLORS
A	LIGHT BEIGE	I	STAINED WOOD
B	MEDIUM BEIGE	J	PAINT TO MATCH
C	LIGHT GREY	K	OMIT
D	GREEN	L	PINK
E	BLACK	M	PER FRANCHISE TRADE DRESS
F	YELLOW	N	WHITE
G	CLEAR		
H	CLEAR ANODIZED ALUMINUM		

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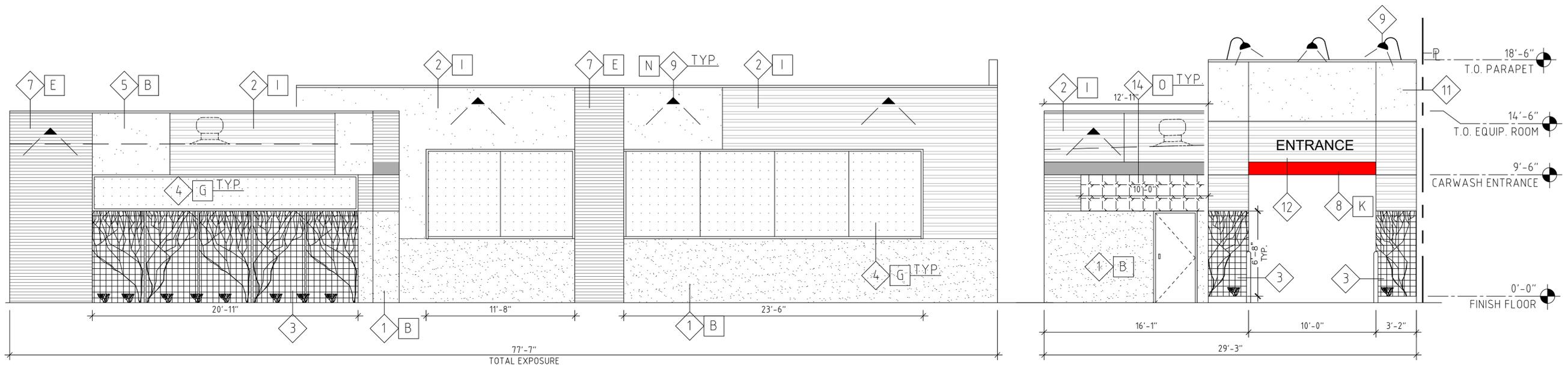
SHEET CONTENTS:  
 FOOD STORE  
 ELEVATIONS

Date: 10.20.2022  
 Scale: AS SHOWN  
 Drawn: SZ  
 Job No. 4247

DATE LOG-REVISIONS  
 REV. DATE DESCRIPTION

Sheet of A2.02 sheets



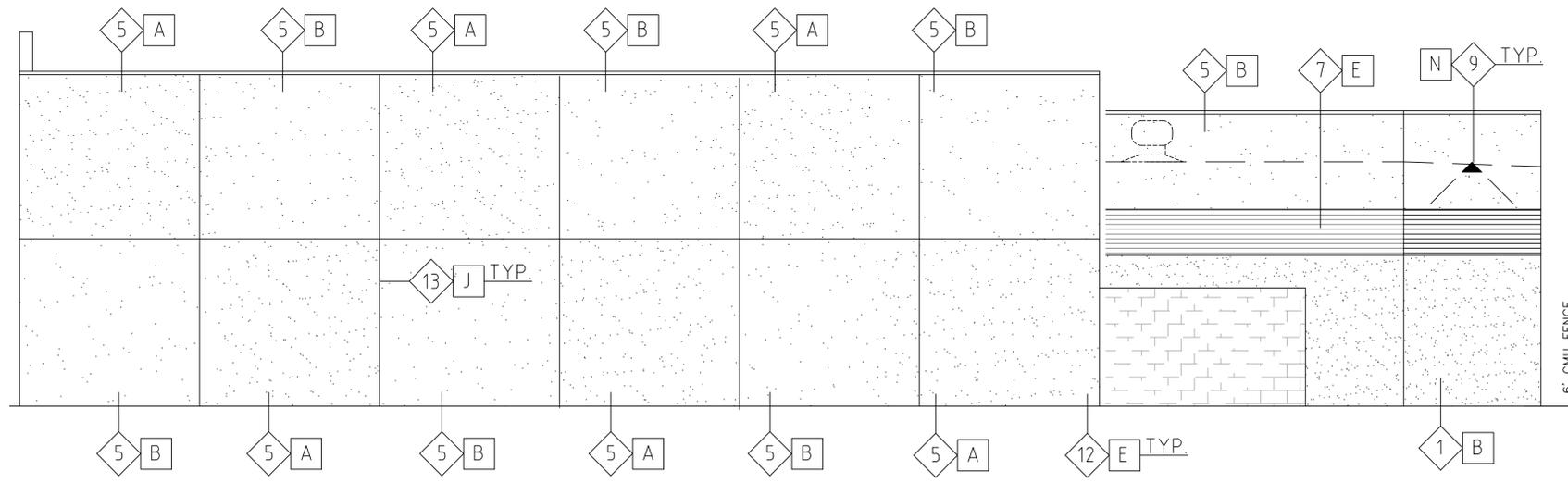


1 WEST ELEVATION  
SCALE: 1/4" = 1'

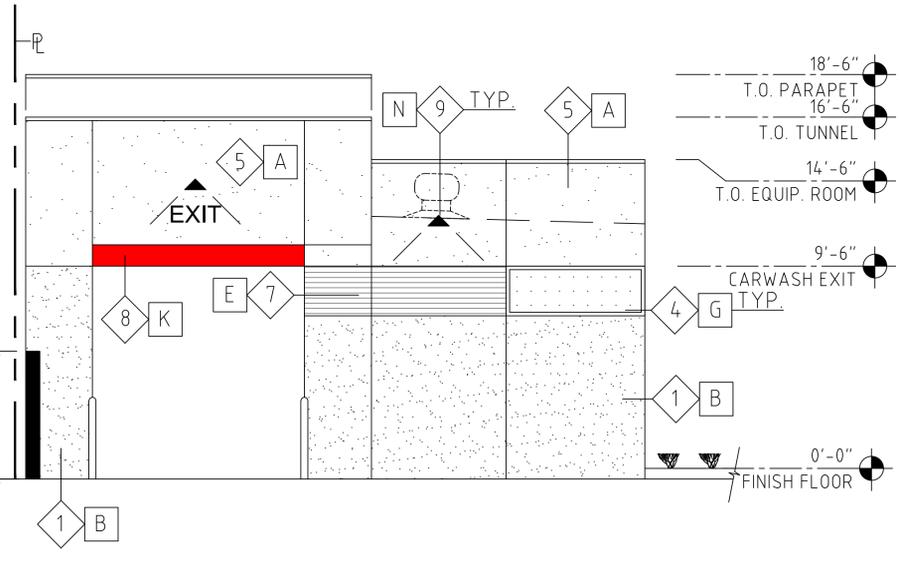
WEST ELEVATION TRANSPARENCY (TO VERMONT AVE): 71.2%

2 SOUTH ELEVATION  
SCALE: 1/4" = 1'

SOUTH ELEVATION TRANSPARENCY (TO E 43RD ST): 52.0%



3 EAST ELEVATION  
SCALE: 1/4" = 1'



4 NORTH ELEVATION  
SCALE: 1/4" = 1'

# CARWASH ELEVATIONS

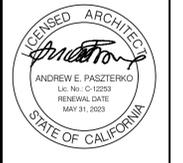
LEGEND		LEGEND	
MARK	MATERIALS	MARK	MATERIALS
1	CONC. WALL	8	ACM
2	WOOD SLOTS	9	WALL WASHER FLOOD LIGHT
3	GREEN SCREEN	10	FLUSH GLAZED STOREFRONT
4	FINISH GLAZING	11	MURAL SIGN "GRAFFITI ART"
5	STUCCO	12	CMU WALL PAINTED
6	STEEL DOOR (PAINTED)	13	CONTROL JOINT
7	THIN BRICK	14	GLASS BLOCK

LEGEND		LEGEND	
MARK	COLORS	MARK	COLORS
A	LIGHT BEIGE	H	CLEAR ANODIZED ALUMINUM
B	MEDIUM BEIGE	I	STAINED WOOD
C	LIGHT GREY	J	PAINT TO MATCH
D	SMOOTH STUCCO GREY	K	RED
E	PINK	L	WARM WHITE
F	NATURAL COLOR	M	PER FRANCHISE TRADE DRESS
G	CLEAR	N	WHITE

DOCUMENT PREPARED BY:  
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PROJECT TITLE:  
NEW GAS STATION, FOOD STORE  
AND CARWASH  
ADDRESS: 4270 S VERMONT AVE, LOS ANGELES, CA 90037



**Gasoline Retail Facilities Consulting**

SHEET CONTENTS:  
CARWASH ELEVATIONS

Date: 10.20.2022  
Scale: AS SHOWN  
Drawn: SZ  
Job No. 4247

DATE LOG-REVISIONS  
REV. DATE DESCRIPTION

Sheet of A2.12 sheets





**PLANTING LEGEND**

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS
<b>TREES:</b>					
	GEUERIA PARVIFLORA	AUSTRALIAN WILLOW	24" BOX	4	LOW
<b>SHRUBS:</b>					
	MYRSINE AFRICANA	AFRICAN BOXWOOD	5 GAL	QTY	LOW
	NANDINA DOMESTICA	HEAVENLY BAMBOO	5 GAL	QTY	LOW
	LAVANDULA ANGUSTIFOLIA	ENGLISH LAVENDER	5 GAL	QTY	LOW
	PHORMIUM TENAX	NEW ZEALAND FLAX	5 GAL	QTY	LOW
	SALVIA GREGGII	AUTUMN SAGE	5 GAL	QTY	LOW
<b>GROUNDCOVERS:</b>					
	3" MULCH BED	REDWOOD MULCH		-	
<b>VINES:</b>					
	MACFADYENA UNGUIS-CATI	CAT'S CLAW VINE	5 GAL	QTY	LOW

**IRRIGATION & PLANTING NOTES:**

1. ALL LANDSCAPE AREAS SHALL RECEIVE A WATER CONSCIOUS AUTOMATIC IRRIGATION SYSTEM. DRIP IRRIGATION SHALL BE UTILIZED WHERE EVER APPROPRIATE.
2. ALL ON - SITE PLANTING AND IRRIGATION SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY AND HEALTH APPEARANCE.
3. ALL UNSIGHTLY SITE APPARATUS SHALL BE SCREENED WITH 5 GALLON SHRUBS OR GREATER (BACK FLOW PREVENTERS, TRANSFORMERS, GAS METERS, AC UNITS ETC.)
4. THE CRITERIA OF CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE WILL BE CALCULATED & PROVIDED TO ASSURE COMPLIANCE OF EFFICIENT USE OF WATER WITHIN THE NEW DESIGNED LANDSCAPE PLAN

**TREES AND SHRUB PHOTOS**



CLIENT:  
**GASOLINE RETAIL FACILITIES CONSULTING**  
 2055 NORTH ALVARADO STREET  
 LOS ANGELES, CA 90039

# PRELIMINARY LANDSCAPE PLAN

**NEW GAS STATION, FOOD STORE AND CARWASH**  
 4270 S. VERMONT AVE. LOS ANGELES, CA 90037

**OVERALL PLAN**

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DATE 10-19-22 PROJECT # 20.07