



APPLICATIONS:

DEPARTMENT OF CITY PLANNING APPLICATION

THIS BOX FOR CITY PLANNING STAFF USE ONLY

Case Number
Env. Case Number
Application Type
Case Filed With (Print Name) Date Filed

Application includes letter requesting:

- Waived hearing
Concurrent hearing
Hearing not be scheduled on a specific date (e.g. vacation hold)
Related Case Number

Provide all information requested. Missing, incomplete or inconsistent information will cause delays.
All terms in this document are applicable to the singular as well as the plural forms of such terms.
Detailed filing instructions are found on form CP-7810

1. PROJECT LOCATION

Street Address 4270, 4276, 4280 S Vermont; 975 W 43rd St Unit/Space Number
Legal Description (Lot, Block, Tract) FR 2, FR 3, FR 4 TR 4403
Assessor Parcel Number 5020-034-039 Total Lot Area 13,130 s.f.

2. PROJECT DESCRIPTION

Present Use convenience store and self serve carwash
Proposed Use gasoline service station, food store and an automatic carwash
Project Name (if applicable)
Describe in detail the characteristics, scope and/or operation of the proposed project Conditional Use (1) to allow a new automatic carwash in conjunction with a new gasoline service station and food store; (2) deviations to the development standards inclusive of hours of operation; (3) Request for Waiver of Dedication and Improvements
Additional information attached YES NO

Complete and check all that apply:

Existing Site Conditions

- Site is undeveloped or unimproved (i.e. vacant)
Site is located within 500 feet of a freeway or railroad
Site has existing buildings (provide copies of building permits)
Site is located within 500 feet of a sensitive use (e.g. school, park)
Site is/was developed with use that could release hazardous materials on soil and/or groundwater (e.g. dry cleaning, gas station, auto repair, industrial)
Site has special designation (e.g. National Historic Register, Survey LA)

1 Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—http://zimas.lacity.org)
2 Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site)

Proposed Project Information

(Check all that apply or could apply)

- Demolition of existing buildings/structures
- Relocation of existing buildings/structures
- Interior tenant improvement
- Additions to existing buildings
- Grading
- Removal of any on-site tree
- Removal of any street tree

- Removal of protected trees on site or in the public right of way
- New construction: 4,683 square feet
- Accessory use (fence, sign, wireless, carport, etc.)
- Exterior renovation or alteration
- Change of use and/or hours of operation
- Haul Route
- Uses or structures in public right-of-way
- Phased project

Housing Component Information

Number of Residential Units: Existing _____ – Demolish(ed)³ _____ + Adding _____ = Total _____

Number of Affordable Units⁴ Existing _____ – Demolish(ed) _____ + Adding _____ = Total _____

Number of Market Rate Units Existing _____ – Demolish(ed) _____ + Adding _____ = Total _____

Mixed Use Projects, Amount of Non-Residential Floor Area: _____ square feet

Public Right-of-Way Information

Have you submitted the Planning Case Referral Form to BOE? (required) YES NO

Is your project required to dedicate land to the public right-of-way? YES NO

If so, what is/are your dedication requirement(s)? _____ ft.

If you have dedication requirements on multiple streets, please indicate: _____

3. ACTION(S) REQUESTED

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request and (if applicable) the LAMC Section or the Specific Plan/Overlay Section from which relief is sought; follow with a description of the requested action.

Does the project include Multiple Approval Requests per LAMC 12.36? YES NO

Authorizing Code Section 12.24-W,4

Code Section from which relief is requested (if any): 12.22-A.28(b)(5)

Action Requested, Narrative: A request to deviate from the hours of operation the gasoline service station to allow for 24 hours daily.

Authorizing Code Section 12.24-W,4

Code Section from which relief is requested (if any): 12.22-A.28(a)(1)

Action Requested, Narrative: A request to deviate from the hours of operation for the carwash.

Additional Requests Attached YES NO

³ Number of units to be demolished and/or which have been demolished within the last five (5) years.

⁴ As determined by the Housing and Community Investment Department

3. ACTION(S) REQUESTED (CONT'D)

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request and (if applicable) the LAMC Section or the Specific Plan/Overlay Section from which relief is sought; follow with a description of the requested action.

Does the project include Multiple Approval Requests per LAMC 12.36? YES NO

Authorizing Code Section 12.24-W,4

Code Section from which relief is requested (if any): 12.22-A.28(a)(1)

Action Requested, Narrative: A request to allow less than fifty percent transparent windows on the south elevation (fronting 43rd Street) of the proposed carwash.

Authorizing Code Section 12.37

Code Section from which relief is requested (if any): _____

Action Requested, Narrative: Relief of the requested 8 foot street dedication and improvements on Vermont Avenue; relief of the requested 25 foot curb radius.

Additional Requests Attached YES NO

³ Number of units to be demolished and/or which have been demolished within the last five (5) years.

⁴ As determined by the Housing and Community Investment Department

4. RELATED DEPARTMENT OF CITY PLANNING CASES

Are there previous or pending cases/decisions/environmental clearances on the project site? YES NO

If YES, list all case number(s) _____

If the application/project is directly related to one of the above cases, list the pertinent case numbers below and complete/check all that apply (provide copy).

Case No. _____ Ordinance No.: _____

- Condition compliance review
- Modification of conditions
- Revision of approved plans
- Renewal of entitlement
- Plan Approval subsequent to Master Conditional Use
- Clarification of Q (Qualified) classification
- Clarification of D (Development Limitations) classification
- Amendment to T (Tentative) classification

For purposes of environmental (CEQA) analysis, is there intent to develop a larger project? YES NO

Have you filed, or is there intent to file, a Subdivision with this project? YES NO

If YES, to either of the above, describe the other parts of the projects or the larger project below, whether or not currently filed with the City:

5. RELATED DOCUMENTS / REFERRALS

To help assigned staff coordinate with other Departments that may have a role in the proposed project, please provide a copy of any applicable form and reference number if known.

- a. Specialized Requirement Form _____
- b. Geographic Project Planning Referral South Los Angeles
- c. Citywide Design Guidelines Compliance Review Form _____
- d. Affordable Housing Referral Form _____
- e. Mello Form _____
- f. Unpermitted Dwelling Unit (UDU) Inter-Agency Referral Form _____
- g. HPOZ Authorization Form _____
- h. Management Team Authorization _____
- i. Expedite Fee Agreement _____
- j. Department of Transportation (DOT) Referral Form _____
- k. Preliminary Zoning Assessment Referral Form _____
- l. SB330 Preliminary Application _____
- m. Bureau of Engineering (BOE) Planning Case Referral Form (PCRF) attached
- n. Order to Comply _____
- o. Building Permits and Certificates of Occupancy attached
- p. Hillside Referral Form (BOE) _____
- q. Low Impact Development (LID) Referral Form (Storm water Mitigation) _____
- r. SB330 Determination Letter from Housing and Community Investment Department _____
- s. Are there any recorded Covenants, affidavits or easements on this property? YES (provide copy) NO

PROJECT TEAM INFORMATION (Complete all applicable fields)

Applicant⁵ name _____

Company/Firm _____

Address: _____ Unit/Space Number _____

City _____ State _____ Zip Code: _____

Telephone _____ E-mail: _____

Are you in escrow to purchase the subject property? YES NO

Property Owner of Record Same as applicant Different from applicant

Name (if different from applicant) Vermont Capital Fuel LLC (Parviz Shamtoub)

Address 1107 Somera Road Unit/Space Number _____

City Los Angeles State CA Zip Code: 90077

Telephone (562)434-2835 E-mail: michael@michaelpaulsassociates.com

Agent/Representative name Michael Pauls

Company/Firm Michael Pauls Associates

Address: 6475 E Pacific Coast Hwy #135 Unit/Space Number _____

City Long Beach State CA Zip: 90803

Telephone (714) 381-0881 E-mail: michael@michaelpaulsassociates.com

Other (Specify Architect, Engineer, CEQA Consultant etc.) _____

Name _____

Company/Firm _____

Address: _____ Unit/Space Number _____

City _____ State _____ Zip Code: _____

Telephone _____ E-mail: _____

Primary Contact for Project Information Owner Applicant
(select only one) Agent/Representative Other

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List, and the Abutting Property Owners List.

⁵ An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing the case on behalf of a client (i.e. usually not the agent/representative).

PROPERTY OWNER

7. **PROPERTY OWNER AFFIDAVIT.** Before the application can be accepted, the owner of each property involved must provide a notarized signature to verify the application is being filed with their knowledge. Staff will confirm ownership based on the records of the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts the agent for service of process or an officer of the ownership entity so authorized may sign as stipulated below.

- **Ownership Disclosure.** If the property is owned by a partnership, corporation, LLC or trust, a disclosure identifying the agent for service of process or an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
- **Letter of Authorization (LOA).** A LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized the file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items A-D below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
- **Grant Deed.** Provide a Copy of the Grant Deed If the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the ownership listed on the application.
- **Multiple Owners.** If the property is owned by more than one individual (e.g. John and Jane Doe or Mary Smith and Mark Jones) notarized signatures are required of all owners.

- a. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this application or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC or trust as evidenced by the documents attached hereto.
- b. I hereby consent to the filing of this application on my property for processing by the Department of City Planning.
- c. I understand if the application is approved, as a part of the process the City will apply conditions of approval which may be my responsibility to satisfy including, but not limited to, recording the decision and all conditions in the County Deed Records for the property.
- d. By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct.

*Property Owner's signatures must be signed/notarized in the presence of a Notary Public.
The City requires an original signature from the property owner with the "wet" notary stamp.
A Notary Acknowledgement is available for your convenience on following page.*

Signature PAVIL SHAMSOUB

Date 2/28/20

Print Name PAVIL SHAMSOUB

Signature _____

Date _____

Print Name _____

Space Below For Notary's Use

California All-Purpose Acknowledgement

Civil Code ' 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

On FEB. 28. 2020 before me, LILLY TAHERI (Notary Public)
(Insert Name of Notary Public and Title)

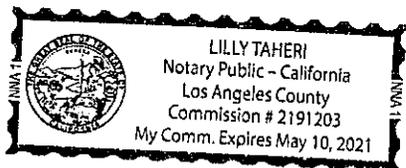
personally appeared PARVIZ SHAM TOUJIS, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

[Handwritten Signature]
Signature

(Seal)



APPLICANT

8. **APPLICANT DECLARATION.** A separate signature from the applicant, whether they are the property owner or not, attesting to the following, is required before the application can be accepted.
- a. I hereby certify that the information provided in this application, including plans and other attachments, is accurate and correct to the best of my knowledge. Furthermore, should the stated information be found false or insufficient to fulfill the requirements of the Department of City Planning, I agree to revise the information as appropriate.
 - b. I hereby certify that I have fully informed the City of the nature of the project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger project in violation of CEQA. I understand that should the City determine that the project is part of a larger project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.
 - c. I understand that the environmental review associated with this application is preliminary, and that after further evaluation, additional reports, studies, applications and/or fees may be required.
 - d. I understand and agree that any report, study, map or other information submitted to the City in furtherance of this application will be treated by the City as public records which may be reviewed by any person and if requested, that a copy will be provided by the City to any person upon the payment of its direct costs of duplication.
 - e. I understand that the burden of proof to substantiate the request is the responsibility of the applicant. Additionally, I understand that planning staff are not permitted to assist the applicant or opponents of the project in preparing arguments for or against a request.
 - f. I understand that there is no guarantee, expressed or implied, that any permit or application will be granted. I understand that each matter must be carefully evaluated and that the resulting recommendation or decision may be contrary to a position taken or implied in any preliminary discussions.
 - g. I understand that if this application is denied, there is no refund of fees paid.
 - i. I understand and agree to defend, indemnify, and hold harmless, the City, its officers, agents, employees, and volunteers (collectively "City"), from any and all legal actions, claims, or proceedings (including administrative or alternative dispute resolution (collectively "actions"), arising out of any City process or approval prompted by this Action, either in whole or in part. Such actions include but are not limited to: actions to attack, set aside, void, or otherwise modify, an entitlement approval, environmental review, or subsequent permit decision; actions for personal or property damage; actions based on an allegation of an unlawful pattern and practice; inverse condemnation actions; and civil rights or an action based on the protected status of the petitioner or claimant under state or federal law (e.g. ADA or Unruh Act). I understand and agree to reimburse the City for any and all costs incurred in defense of such actions. This includes, but it not limited to, the payment of all court costs and attorneys' fees, all judgments or awards, damages, and settlement costs. The indemnity language in this paragraph is intended to be interpreted to the broadest extent permitted by law and shall be in addition to any other indemnification language agreed to by the applicant.
 - i. By my signature below, I declare under penalty of perjury, under the laws of the State of California, that all statements contained in this application and any accompanying documents are true and correct, with full knowledge that all statements made in this application are subject to investigation and that any false or dishonest answer to any question may be grounds for denial or subsequent revocation of license or permit.

The City requires an original signature from the applicant. The applicant's signature below does not need to be notarized.

Signature: PAQVIZ - SHAMSOUB

Date: 2/28/20

Print Name: PAQVIZ - SHAMSOUB

**OPTIONAL
NEIGHBORHOOD CONTACT SHEET**

9. **SIGNATURES** of adjoining or neighboring property owners in support of the request are not required but are helpful, especially for projects in single-family residential areas. Signatures may be provided below (attach additional sheets if necessary).

NAME (PRINT)	SIGNATURE	ADDRESS	KEY # ON MAP

REVIEW of the project by the applicable Neighborhood Council is not required, but is helpful. If applicable, describe, below or separately, any contact you have had with the Neighborhood Council or other community groups, business associations and/or officials in the area surrounding the project site (attach additional sheets if necessary).



APPLICATIONS:

ENVIRONMENTAL ASSESSMENT FORM

THIS BOX FOR CITY PLANNING STAFF USE ONLY

Environmental Case Number: _____

Related Case Numbers: _____

Case Filed With (Print Name): _____ **Date Filed:** _____

EAF Accepted By (Print Name): _____ **Date Accepted:** _____

All terms in this document are applicable to the singular as well as the plural forms of such terms.

Project Address¹: 4270, 4276, 4280 S Vermont Avenue; 975 W 43rd Street

Assessor's Parcel Number: 5020-034-039

Major Cross Streets: 43rd Street

Community Plan Area: South Los Angeles **Council District:** 9

APPLICANT (if not Property Owner)

PROPERTY OWNER

Name: _____

Company: _____

Address: _____

City: _____ **State:** _____ **Zip Code:** _____

E-Mail: _____

Telephone No.: _____

Name: Parviz Shamtoub

Company: Vermont Capital Fuel LLC

Address: 1107 Somera Rd

City: Los Angeles **State:** C **Zip Code:** 90803

E-Mail: _____

Telephone No.: (562) 434-2835

APPLICANT'S REPRESENTATIVE

ENVIRONMENTAL REVIEW CONSULTANT

Name: Michael Pauls

Company: Michael Pauls Associates

Address: 6475 E Pacific Coast Hwy #135

City: Long Beach **State:** CA **Zip Code:** 90803

E-Mail: michael@michaelpaulsassociates.com

Telephone No.: (562)434-2835

Name: _____

Company: _____

Address: _____

City: _____ **State:** _____ **Zip Code:** _____

E-Mail: _____

Telephone No.: _____

¹ Project address must include all addresses on the subject site (as identified in ZIMAS; <http://zimas.lacity.org>)

OVERVIEW

CEQA, or the California Environmental Quality Act, is a statute that requires state and local agencies to identify the significant environmental impacts of their actions and to avoid or mitigate those impacts, if feasible. CEQA requires public agencies to conduct environmental review before making a determination on a project. The environmental review process examines the potential impacts your project will have on the property and its surroundings, and makes recommendations (mitigation measures) on how to minimize or reduce those impacts that are found to be significant. The purpose of this application is to assist staff in determining the appropriate environmental clearance for your project. Please fill out this form completely. Missing, incomplete or inconsistent information will cause delays in the processing of your application.

1. PROJECT DESCRIPTION

A. Briefly describe the entire project and any related entitlements (e.g. Tentative Tract, Conditional Use, Zone Change, etc.). The description must include all phases and plans for future expansion.

Conditional Use (1) to allow for the replacement of an existing self serve carwash
with a new automatic carwash in conjunction with a new gasoline service station and food
store; (2) deviations to the development standards inclusive of hours of operation.

Additional information or Expanded Initial Study attached: YES NO

B. Will the project require certification, authorization, clearance or issuance of a permit by any federal, state, county, or environmental control agency, such as Environmental Protection Agency, Air Quality Management District, Water Resources Board, Environmental Affairs, etc.? YES NO

If YES, please specify:
 AQMD

2. EXISTING CONDITIONS

A. Project Site.

Lot Area: 13,136 square feet
 Net Acres: _____ Gross Acres: .30

B. Zoning/Land Use.

	Existing	Proposed
Zoning	C2-1VL-CPIO	same
Use of Land	self serve carwash	automatic car wash, gas sales, food store
General Plan Designation	Neighborhood Commercial	Neighborhood Commercial

C. Structures.

1. Does the property contain any vacant structure? YES NO

If YES, describe and state how long it has been vacant: _____

2. Will any structures be removed/demolished as a result of the project? YES NO

If YES, provide the number: _____, type: _____
 _____, total square footage: approximately 4,225 s.f.
 and age: _____ of structures to be removed.

If residential dwellings (apartments, single-family, condominiums etc.) are being removed indicate the number of units: n/a

D. Trees.

- Are there any trees on the property, and/or within the public right-of-way next to the property, that will be removed or impacted* as a result of the project? YES NO

If YES complete the following:

Tree Status	Quantity Existing	Tree Types	Quantity Removed	Quantity Relocated	Quantity Replaced	Quantity Impacted*
Non-Protected (8" trunk diameter and greater)						
Protected (4" trunk diameter and greater)		Oak Tree (excluding Scrub Oak)				
		Southern California Black Walnut				
		Western Sycamore				
		California Bay				

* Impacted means that grading or construction activity will be conducted within five (5) feet of, or underneath the tree's canopy.

Additional information attached: YES NO

*If a protected tree (as defined in Section 17.02 of the LAMC) will be removed, replaced, relocated, or impacted, a **Tree Report** is required.*

E. Slope. State the percent of property which is:

Less than 10% slope: less 2% 10-15% slope: _____ over 15% slope: _____

*If slopes over 10% exist, a **Topographic Map** will be required.*

F. **Grading.** Specify the total amount of dirt being moved:

0-500 cubic yards More than 500 cubic yards

If more than 500 cubic yards (indicate amount): _____ cubic yards

G. **Import/Export.** Indicate the amount of dirt to be imported or exported:

Imported: 0 _____ cubic yards Exported: 60 _____ cubic yards

Location of disposal site: _____

Location of borrow site: _____

Is the Project Site located within a Bureau of Engineering (BOE) Special Grading Area? YES NO

If YES, a **Haul Route** is required.

H. **Hazardous Materials and Substances.** Is the project proposed on land that is or was developed with a dry cleaning, automobile repair, gasoline station, or industrial/manufacturing use, or other similar type of use that may have resulted in site contamination? YES NO

If YES, describe: _____

If YES, a **Phase I Environmental Site Assessment (ESA)** is required.

I. **Historic, Cultural and/or Architecturally Significant Site or Structure.** Does the project involve any structures, buildings, street lighting systems, spaces, sites or components thereof which are designated or may be eligible for designation in any of the following? If YES, please check and describe:

National Register of Historic Places: _____

California Register of Historic Resources: _____

City of Los Angeles Cultural Historic Monument: _____

Located within a City of Los Angeles Historic Preservation Overlay Zone (HPOZ): _____

Identified on SurveyLA: _____

Identified in HistoricPlacesLA: _____

Does the Project affect any structure 45 or more years old that does not have a local, state, or federal designation for cultural or historic preservation? YES NO

J. **Miscellaneous.** Does the property contain any easements, rights-of-way, Covenant & Agreements, contracts, underground storage tanks or pipelines which restrict full use of the property? YES NO

If YES, describe: _____
_____ and indicate the sheet number on your plans showing the condition: _____.

3. PROPOSED DEVELOPMENT

In the sections below, describe the entire project, not just the area in need of the entitlement request. If the project involves more than one phase or substantial expansion or changes of existing uses, please document each portion separately, with the total or project details written below. Attach additional sheets as necessary to fully describe the project.

A. ALL PROJECTS

i. Parking.

Vehicular Parking

Required: 4 + Guest: _____

Proposed: 4 + Guest: _____

Bicycle Parking:

Required Long-Term: 2 Required Short-Term: 2

Proposed Long-Term: 2 Proposed Short-Term: 2

ii. Height.

Number of stories (not including mezzanine levels): 1 Maximum height: 21'-6"

Are Mezzanine levels proposed? YES NO

If YES, indicate on which floor: _____,

If YES, indicate the total square feet of each mezzanine: _____

*New construction resulting in a height in excess of 60 feet may require a **Shade/Shadow Analysis**. This does not apply to projects that are located within a Transit Priority Area (TPA) as defined by ZI-2452 (check the Planning and Zoning tab in ZIMAS for this information <http://ZIMAS.lacity.org>).*

iii. Project Size.

What is the total floor area of the project? 5,082 gross square feet

iv. Lot Coverage.

Indicate the percent of the total project that is proposed for:

Building footprint: 35.65 %

Paving/hardscape: 59.4 %

Landscaping: 2.9 %

v. **Lighting.** Describe night lighting of project: exterior lighting to be shielded downward to prevent glare onto adjacent properties

B. RESIDENTIAL PROJECT

If no portion of the project is residential check -N/A and continue to next section

i. Number of Dwelling Units.

Single Family: _____, Apartment: _____, Condominium: _____

ii. Recreational Facilities. List recreational facilities for project: _____

iii. Open Space.

Does the project involve new construction resulting in additional floor area and units? YES NO

Does the project involve six or more residential units? YES NO

If YES to both, complete the following

Pursuant to LAMC 12.21.G	Required	Proposed
Common Open Space (Square Feet)		
Private Open Space (Square Feet)		
Landscaped Open Space Area (Square Feet)		
Number of trees (24 inch box or greater)		

iv. Utilities. Describe the types of appliances and heating (gas, electric, gas/electric, solar): _____

v. Accessory Uses. Describe new accessory structures (detached garage, guest house, swimming pool, fence, stable, etc.) and/or additions: _____

C. COMMERCIAL, INDUSTRIAL OR OTHER PROJECT

If the project is residential only check -N/A and continue to next section

i. Type of Use. gasoline service station in conjunction with a convenience store and automatic carwash

ii. Project Size. Does the project only involve the remodel or change of use of an existing interior space or leasehold? YES NO

If YES, indicate the total size of the interior space or leasehold: _____ square feet

iii. Hotel/Motel. Identify the number of guest rooms: _____ guest rooms

iv. **Days of operation.** Monday thru Sunday
Hours of operation. convenience store: 24 hours; gasoline sales: 24 hrs; carwash: 7:00a.m. - 9:00p.m.

v. **Special Events.** Will there be special events not normally associated with a day-to-day operation (e.g. fund raisers, pay-for-view events, parent-teacher nights, athletic events, graduations)? YES NO
If YES, describe events and how often they are proposed _____

vi. **Occupancy Limit.** Total Fire Department occupancy limit: _____
a. Number of fixed seats or beds _____
b. Total number of patrons/students _____
c. Number of employees per shift _____, number of shifts _____
d. Size of largest assembly area _____ square feet

v. **Security.** Describe security provisions for the project interior and exterior high definition cameras
to be installed throughout the property.

4. SELECTED INFORMATION

A. **Circulation.** Identify by name all arterial road types (i.e. Boulevard I, II, Avenue I, II, III) and freeways within 1,000 feet of the proposed Project; give the approximate distances (check <http://navigatela.lacity.org> for this information). Modified Avenue I - Vermont Avenue

B. **Green building certification.** Will the project be LEED-certified or equivalent? YES NO
If YES, check appropriate box:
 Certified Equivalent Silver Gold Platinum Other _____

C. **Fire sprinklers.** Will the Project include fire sprinklers? YES NO

5. CLASS 32 URBAN INFILL CATEGORICAL EXEMPTION (CE) REQUEST

The Class 32 "Urban Infill" Categorical Exemption (Section 15332 of the State CEQA Guidelines), is available for development within urbanized areas. This class is not intended to be applied to projects that would result in any significant traffic, noise, air quality, or water quality impacts.

Check this box if you are requesting a Class 32 Exemption, and:

- You have read DCP's Specialized Instructions for the Class 32 Categorical Exemption (CP-7828) and,
- You have submitted the written justifications identified in the Specialized Instructions, and any supporting documents and/or technical studies to support your position that the proposed Project is eligible for the Class 32 Exemption and the project does not fall under any of the Exceptions pursuant to CEQA Section 15300.2.

Note that requesting the Urban Infill CE does not guarantee that the request will be accepted. The City may require additional studies and information if necessary to process the CE. The City reserves all rights to determine the appropriate CEQA clearance, including using multiple clearances and requiring an EIR if necessary.

APPLICANT/CONSULTANT'S AFFIDAVIT
OWNER MUST SIGN AND BE NOTARIZED,
IF THERE IS AN AGENT, THE AGENT MUST ALSO SIGN AND BE NOTARIZED

PROPERTY OWNER	CONSULTANT/AGENT
I, (print name) _____	I, (print name) <u>Michael Pauls</u>
Signature _____	Signature <u>[Handwritten Signature]</u>

being duly sworn, state that the statements and information, including plans and other attachments, contained in this Environmental Assessment Form are in all respects true and correct to the best of my knowledge and belief. I hereby certify that I have fully informed the City of the nature of the Project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger Project in violation of CEQA. I understand that should the City determine that the Project is part of a larger Project for purposes of CEQA; the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.

Space Below for Notary's Use

California All-Purpose Acknowledgement

Civil Code Section 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

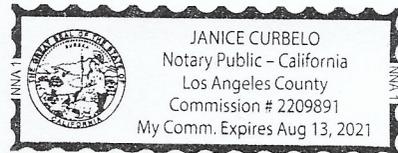
On March 16 2020 before me, Janice Curbelo
 (Insert Name of Notary Public and Title)

personally appeared Michael Pauls, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

[Handwritten Signature] (Seal)
 Signature





REFERRAL FORMS:

GEOGRAPHIC PROJECT PLANNING REFERRAL

APPLICABILITY: This form, completed and signed by appropriate Planning Staff, must accompany any application submitted to the Department of City Planning regarding any of the following proposed project types:

- Specific Plan area
• Community Design Overlays (CDO)
• Neighborhood Oriented District (NOD)
• Sign District (SN)
• Small Lot Subdivision
• Zone Change
• Design Review Board (DRB)
• Pedestrian Oriented District (POD)
• Community Plan Implementation Ordinance (CPIO)
• Public Benefit Alternative Compliance
• Zone Variance

PROJECT SUMMARY:

1. Address of Subject Property: 4270, 4276, 4280 S Vermont Avenue; 975 W 43rd Street

2. Name of Community Plan Area: South Los Angeles

a. Name of Specific Plan, DRB, CDO, POD, NOD, CPIO, or SN, including subarea if applicable: (If this is a Density bonus, Small Lot Subdivision or Zone Variance case, please write in the application type).

South Los Angeles CPIO - Subarea C (General Corridor)

3. Project Type (check all that apply)

- [x] New construction [] Addition [] Renovation [] Sign
[] Change of Use [] Grading [] Density Bonus [] Small Lot Subdivision
[] Other (describe)

If Change of Use, what is:

Existing Use? self serve carwash; convenience store Proposed Use? automatic carwash; gasoline station, fc

Description of proposed project: Conditional Use to (1) allow a new automatic carwash in conjunction with a gasoline service station and food store; (2) deviations to the development standards inclusive of hours of operation; (3) Request for Waiver of Dedication an Improvements.

Items 4-7 to be completed by Department of City Planning Staff Only

4. AUTHORIZATION TO FILE: (check all that apply)

Specific Plan/SN

- [] Project Permit
o Minor (3 signs or less OR change of use)
o Standard (Remodel or renovation in which additions are no greater than 200 sq. ft. more than 3 signs, wireless equipment)
o Major (All other projects, e.g. new buildings, remodels that include an addition of more than 200 sq. ft.
[] Modification
[] Adjustment
[] Exception
[] Amendment
[] Interpretation
[] Not a Project
[] Other

Design Review Board

- Preliminary Review Final Review

CDO/POD/NOD

- Discretionary Action Sign-off only
 Minor (3 signs or less OR change of use)
 Standard (Remodel or renovation in which additions are no greater than 200 sq. ft. more than 3 signs, wireless equipment) Not a Project
 Major (All other projects, e.g. new buildings, remodels that include an addition of more than 200 sq. ft.)

Community Plan Implementation Overlay (CPIO)

- Administrative Clearance (Multiple Approvals) CPIO Adjustment (CPIOA) CPIO Exception (CPIOE)
 Potentially Historic Resource

Affordable Housing

- Density Bonus Conditional Use >35%
 Affordable Housing Referral Form Public Benefit
 Off-menu incentives requested

Small Lot Subdivision

- Consultation completed

Streetscape Plan

- Consultation completed Not a Project or N/A under Streetscape Plan: _____
(Insert Streetscape Plan Area)

5. ENVIRONMENTAL CLEARANCE:

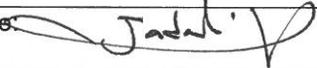
- Not Determined
 Categorical Exemption Environmental Assessment Form (EAF)
 Class 32 Categorical Exemption Other Entitlements needed
 Existing ENV Case Number: _____
 ENV Addendum Case Number: _____

6. PUBLIC NOTICING:

- Standard (BTC to mail hearing notice)
 Special (At time of filing applicant must pay BTC to mail determination letters only)
 Abutting owners Abutting occupants

7. NOTES:

[Empty rectangular box for notes]

Project Planning Signature: 	Phone Number: (213) 978-1339
Print Name: Helen Jadali	Date: 3,10,20

INSTRUCTIONS: Project Planning Referrals

1. **Appointments:** A pre-filing appointment with the assigned planner is required to complete this referral form. City Planning's current *Assignment List* can be found on our website at <http://planning.lacity.org> under the "About" tab. [After the form is completed an appointment to file your application at the Development Services Centers is also required and must be made via the City Planning website.]
2. **Review Materials:** Review of the application by assigned staff is intended to identify the level of review required for the project and to provide the Applicant with early notification of any issues with regard to requested actions or the adequacy of application exhibits/materials which could subsequently delay processing.
 - a. Provide the assigned planner with a copy of this form with items in the Project Summary section completed.
 - b. Provide a complete copy of all application materials as specified in the Master Filing Instructions (e.g. completed DCP Application, plot plans, photographs, etc.).
 - c. Provide the Specialized Requirements/Findings or Instructions pertinent to your project (e.g. Specific Plan filing instructions, DRB filing instructions, Tentative Tract filing instructions, etc.).
3. **Other Applicable Approvals:** Applicants are strongly advised to obtain a pre-plan check consultation with the Los Angeles Department of Building and Safety (LADBS) to ascertain if there are any other issues or necessary approvals associated with the project/site which should be resolved prior to filing. The design of the proposed project may require alterations in order to comply with the Los Angeles Municipal Code.

City of Los Angeles Department of City Planning WEBSITE: <http://planning.lacity.org>

<u>DOWNTOWN OFFICES:</u>	Central Project Planning Offices Los Angeles City Hall 200 N. Spring Street, Room 621 Los Angeles, CA	West/South/Harbor Project Planning Offices Los Angeles City Hall 200 N. Spring Street, Room 720 Los Angeles, CA	DSC Metro Counter Figueroa Plaza, 4 th Floor 221 N. Figueroa St. Los Angeles, CA
<u>VALLEY OFFICES:</u>	Valley Project Planning Offices Marvin Braude Building 6262 Van Nuys Blvd., Suite 430 Van Nuys, CA		DSC Valley Counter Marvin Braude Building 6262 Van Nuys Blvd., Suite 251 Van Nuys, CA
<u>WEST LA OFFICE:</u>			DSC West Los Angeles Counter 1828 Sawtelle Blvd., 2nd Floor West Los Angeles, CA 90025

MICHAEL PAULS ASSOCIATES

6475 E PACIFIC COAST HWY #135 LONG BEACH CA 90803

PROJECT SITE: 4270 S. Vermont Avenue

AUTOMOTIVE USE FINDINGS:

- 2 a. **That project approval will not create or add to a detrimental concentration of automotive uses in the vicinity of the proposed automotive use;**

The project is an existing automotive use, therefore the proposed expansion will not create added concentration of similar uses in the area.

Environmentally friendly Automatic car washes and gasoline stations are underrepresented in the surrounding area.

Additionally, the Southeast Los Angeles CPIO, limits the establishment of new automotive uses by statute to existing sites within the geographical boundaries of the CPIO.

- 2 b. **That based on data provided by the Department of Transportation or a licensed traffic engineer, ingress to, egress from and associated parking of the automotive use will not constitute a traffic hazard or cause significant traffic congestion or disruption of vehicular circulation on adjacent streets;**

The proposed development will be in compliance with the Department of Transportation standards. The access and ingress / egress to the site is not expected impact adjacent streets.

Based on a preliminary consultation with LADOT engineer, in the course of which the project's internal circulation and drive way approaches were reviewed, the ingress to, egress from and associated parking of the automotive use will not constitute a traffic impact on adjacent streets.

- 2 c. **That any spray painting will be conducted within a fully enclosed structure located at least 500-feet away from a school or A or R zone, and that all spray painting will be conducted in full compliance with the provisions of [Article 7, Chapter 5](#) of this Code, as well as South Coast Air Quality Management District Rules 1132 and 1151, regulating these installations;**

“Not Applicable” does not pertain to this project

- 2 d. **That the applicant has submitted an appropriate landscape plan setting forth all plant materials and irrigation systems, and a written maintenance schedule indicating how the landscaping will be maintained.**

Applicant will submit as specified.

MICHAEL PAULS ASSOCIATES

6475 E Pacific Coast Hwy #135, Long Beach, California 90803

(562) 434-2835

Subject Site: 4270 South Vermont Avenue

Findings set forth in Section 12.37.1.2.(b)

1. The dedication or improvement requirement does not bear a reasonable relationship to any project impact.

The construction of the proposed new gasoline station, automatic carwash and food store will not have an impact upon the streets or roadways surrounding the subject site.

2. The dedication or improvement is not necessary to meet the City's mobility needs for the next 20 years based on guidelines the Streets Standards Committee has established.

The construction of the proposed new gasoline station, automatic carwash and food store will not have an impact upon the City's mobility needs surrounding the subject site.

The City of Los Angeles Mobility Element 2035 is predicated on improving vehicular and pedestrian safety.

The City's request that S. Vermont Ave. (Avenue I) to a 60 ft. half ROW is not reflected in the Mobility Plan 2035, Citywide General Plan Circulation Map A1 – General Circulation nor the accompanying Complete Streets Design Guide nor the accompanying Streets Dimension Standard Plan (Standards S-470-1) which call out a 50 ft. half-ROW dimension consistent with an Avenue I ROW.

The Mobility Plan 2035, Citywide General Plan Circulation Map A1 indicates South Vermont Avenue, adjacent to the subject site, to be classified as an Avenue I without a “modified” designation.

3. The dedication or improvement requirement is physically impractical.

The Mobility Plan 2035, Citywide General Plan Circulation Map A1 indicates South Vermont Avenue, adjacent to the subject site, to be classified as an Avenue I without a “modified” designation. An Avenue I requires a 50 ft ROW not 60 ft. as indicated in the BOE referral letter.

MICHAEL PAULS ASSOCIATES

6475 E PACIFIC COAST HWY #135 LONG BEACH CA 90803 PH (562) 434-2835

PROJET SITE: 4270 S. Vermont Avenue

GENERAL CONDITIONAL USE FINDINGS:

1.

- a. That the project will enhance the built environment in the surrounding neighborhood or will perform a function or provide a service that is essential or beneficial to the community, city, or region.**

The subject site is adequate in size and shape to accommodate the subject use. The request for a Conditional Use to allow the establishment of a gasoline station, pedestrian oriented convenience market and the replacement of a hand car wash to a new environmentally friendly automatic carwash.

The subject site is approximately 13,136 s.f. We are proposing construct a new water saving automatic carwash.

The location and use will serve the public convenience by providing underrepresented services to the surrounding community.

The subject use is consistent with the surrounding land uses, which include retail and service, multiple residential consistent with the C2-1VL-CPIO zone. The subject request is desirable for the public convenience and welfare and its location is proper in relation to the surrounding uses.

Environmentally friendly automatic carwashes are underrepresented in the surrounding area and an essential water saving use, which is of significant importance during periods of drought, consistent with the objectives of the City of Los Angeles.

The establishment of a new car wash at the site will not be detrimental to the public welfare or injurious to the property or improvements adjacent to, or in the vicinity of, the subject property.

The proposed location will be in harmony with the various elements and objectives of the General Plan.

Section 12.14 (C-2) and the South Los Angeles CPIO allow automatic carwash to be established in the C2 zone. The request for a Conditional Use is to allow a carwash to be established with the hours of operation 7:00 a.m to 9:00 p.m. daily.

The creation of new businesses, services and employment opportunities for Los Angeles residents is an important goal in the community.

b. That the project's location, size, height, operations and other significant features will be compatible with and will not adversely affect or further degrade adjacent properties, the surrounding neighborhood, or the public health, welfare and safety.

The applicant is proposing a new gasoline service station / food store along with an environmentally friendly water saving automatic carwash.

The subject site is a rectangular-shaped commercial lot consisting of approximately 13,136 s.f. and is presently developed with an existing automotive use (carwash).

The subject site is zoned C2-1VL-CPIO and is surrounded by commercial and multi-family residential zoned properties.

The granting of this Conditional Use will not adversely affect the adjacent uses, nor will it be detrimental to the public health, safety or welfare. The gasoline station / food store / carwash is compatible with the uses surrounding the subject site.

The surrounding uses include: Motel to the north, which is zoned C2-1VL-CPIO; Parking lot across an alleyway to the east, which is zoned multifamily, R3-1; Restaurant across 43rd St. to the south which is zoned C2-1VL-CPIO; General retail across Vermont to the east which is zoned C2-1VL-CPIO.

The applicant will adhere to all requirements as deemed appropriate by the City of Los Angeles and will operate in full compliance in accordance with City of Los Angeles guidelines.

For security, a comprehensive video camera surveillance system will be installed to monitor the interior and exterior of the premises. Surveillance footage will be maintained for at least 60 days and shared with law enforcement upon request.

The subject request will not be materially detrimental to the development of the immediate neighborhood.

Therefore, the proposed request would not create any additional impacts beyond those already created by the surrounding existing commercial uses.

The proposed improvements to the site will enhance and provide a cleaner, more convenient and safer environment to customers of the business.

- c. That the project substantially conforms with the purpose, intent and provisions of the General Plan, the applicable community plan, and any applicable specific plan.**

The subject use substantially conforms with the purpose, intent and provisions of the General Plan, South Los Angeles CPIO and the underlying C2 zone.

4270 Vermont
Photographs

1.



2.



3.



4.



PROJECT DATA

PRESENT USE
SELF SERVE CARWASH

FIRE SPRINKLERS
NO

PROPOSED USE
GAS STATION, FOOD STORE AND DRIVE-THRU CARWASH

NUMBER OF STORIES
ONE

ASSESSORS PARCEL NO.
5020-034-039

HEIGHT
FOOD STORE 21'-6"
CANOPY 20'
CARWASH 18'-6"

LEGAL DESCRIPTION
TR 4.403, M B 48-24, LOT FR 2 FR 3 FR 4, MAP SHEET 114B197

LOT COVERAGE:
FOOD STORE, CANOPY AND CARWASH
4,686 SF = 35.65%

CENSUS TRACT #
2317.10

LOS ANGELES STATE ENTERPRISE ZONE
ZI-2374

TRANSPARENCY:
FOOD STORE:
WEST TRANSPARENCY (TO VERMONT AVE): 63.91%
SOUTH TRANSPARENCY (TO E 43RD ST): 28.18%

ZONING
C2-1VL-CPIO

CARWASH:
WEST TRANSPARENCY (TO VERMONT AVE): 74.20%
SOUTH TRANSPARENCY (TO E 43RD ST): 22.50%

GENERAL PLAN
NEIGHBORHOOD COMMERCIAL

TYPE OF CONSTRUCTION

FOOD STORE	V-B
CANOPY	II-B
CARWASH	V-B

EXISTING BUILDING SQUARE FOOTAGE TO BE DEMOLISHED:

RESTAURANT	615 SF
MECHANICAL ROOM	228 SF
FIVE WASH BAYS	3,382 SF

OCCUPANCY CLASS

FOOD STORE	M
CANOPY	M
CARWASH	B

TOTAL NUMBER OF TREES TO BE PROVIDE:
4

<u>LOT AREA (GROSS):</u>	13,136 SF	0.30 ACRES
<u>PAVED AREA:</u>	7,797 SF	59.4% OF SITE
<u>BUILDING AREA:</u>	4,683 SF	35.65% OF SITE
<u>LANDSCAPED AREA:</u>	379 SF	2.9% OF SITE

PARKING ANALYSIS

BUILDING	AREA	RATIO	REQ'D	PROVIDED
FOOD STORE	1,242 SF	1/500	2.48	2 IN PARKING LOT
CANOPY	2,249 SF	1/500	4.49	4 FUELING POSITIONS
CARWSH	1,192 SF	1/500	2.29	2 IN PARKING LOT
TOTAL	4,683			4

LONG TERM BIKE STORAGE	2
SHORT TERM BIKE RACK	2

PROPOSE NEW FOOD STORE, GAS STATION AND DRIVE-THRU CARWASH

ADDRESS:
4270 S VERMONT AVE, LOS ANGELES, CA 90037



1 VICINITY MAP THOMAS BROTHER'S (PAGE 674 - GRID E3)
NOT TO SCALE

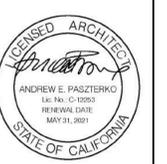
DRAWING INDEX

- | | |
|-------|------------------------------|
| T-1 | TITLE SHEET |
| AS-1 | PROPOSED SITE PLAN |
| AS-1E | EXISTING SITE PLAN |
| A-101 | CARWASH FLOOR & ROOF PLAN |
| A-102 | CARWASH ELEVATIONS |
| A-201 | FOOD STORE FLOOR & ROOF PLAN |
| A-202 | FOOD STORE ELEVATIONS |
| A-301 | CANOPY PLAN & ELEVATIONS |
| L-1.0 | PRELIMINARY LANDSCAPE PLAN |

DOCUMENT PREPARED BY:
GASOLINE RETAIL FACILITIES CONSULTING
ATTN: ANDREW PASZTERKO - ARCHITECT
CALIFORNIA LIC # C-12253
2055 NORTH ALVARADO STREET,
LOS ANGELES, CALIFORNIA 90039
C: 313.741.0080 C: 313.359.4860
andy@gazretail.com

OWNER:
ATTN: DAVID SHAMTOUB
PH: 310.779.1526
EMAIL: dshamtou@verizon.net

PROJECT TITLE:
NEW GAS STATION, FOOD STORE
AND CARWASH
ADDRESS: 4270 S VERMONT AVE, LOS ANGELES, CA 90037



SHEET CONTENTS:
TITLE SHEET

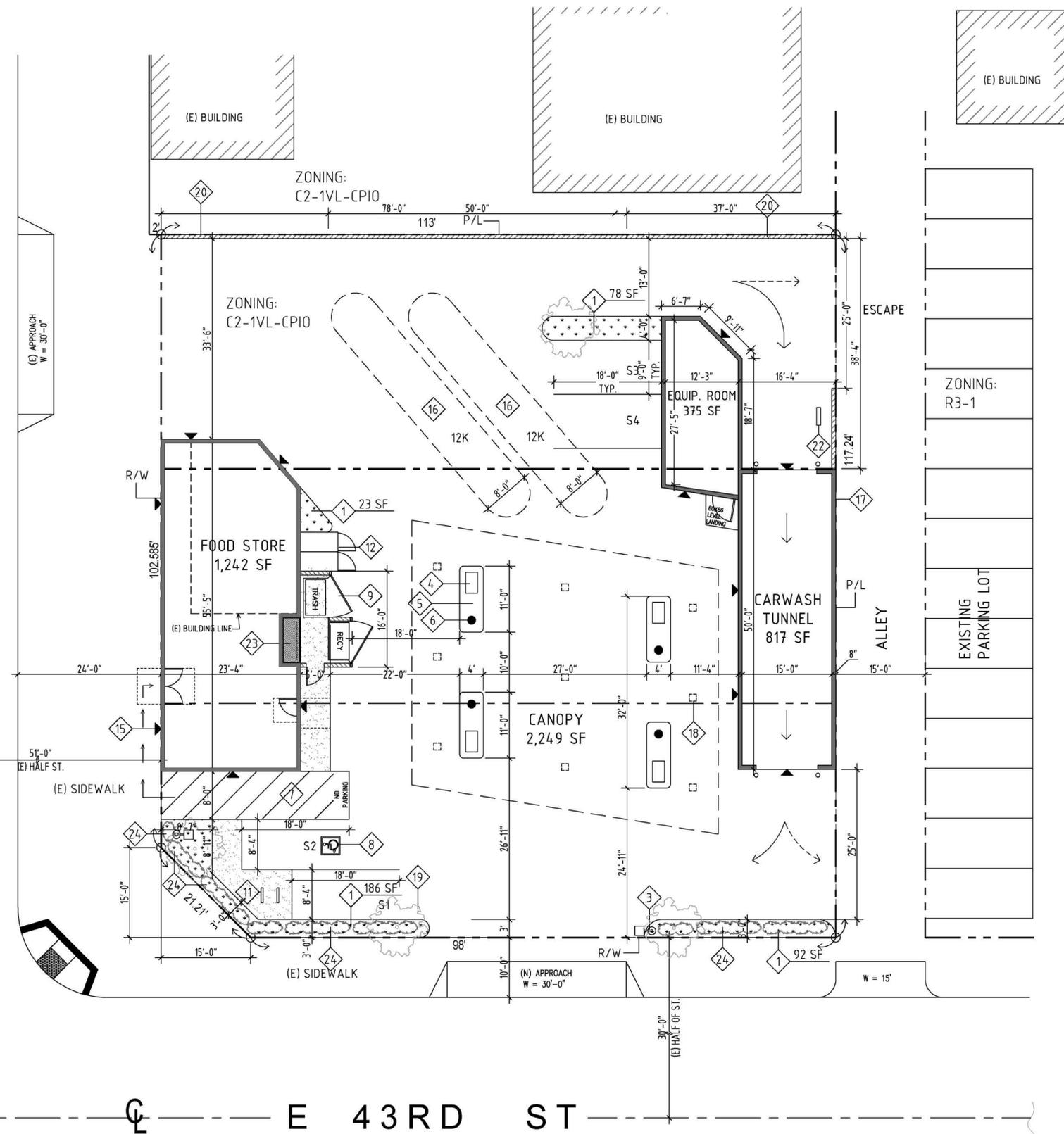
Date:	03.05.2020
Scale:	AS SHOWN
Drawn:	KH
Job No.:	4247

DATE LOG-REVISIONS

REV	DATE	DESCRIPTION

Sheet T-1 of sheets

VERMONT AVE.



1 PROPOSED SITE PLAN
SCALE: 1"=10'

LEGEND

- 1 LANDSCAPE
- 2 CONCRETE SIDEWALK
- 3 AREA LIGHT (TYP.)
- 4 DISPENSER (TYP. OF 4)
- 5 DISPENSER ISLAND (TYP. OF 4)
- 6 CANOPY COLUMN (TYP. OF 4)
- 7 HANDICAP LOADING ZONE
- 8 HANDICAP PARKING SIGN
- 9 TRASH ENCLOSURE
- 10 OMIT
- 11 SHORT TERM BICYCLE RACK (TYP. OF 2)
- 12 LONG TERM BICYCLE STORAGE (TYP. OF 2)
- 13 BUMPER POST (TYP.)
- 14 HANDICAP PATH OF TRAVEL
- 15 WALL LIGHT (TYP.)
- 16 UNDERGROUND STORAGE TANK (TYP. OF 2)
- 17 6' CMU WALL
- 18 CANOPY LIGHT (TYP.)
- 19 TREE (TYP.)
- 20 (E) 6' CMU WALL
- 21 ID&PRICE SIGN
- 22 CARWASH PAY POINT
- 23 SWITCHGEAR
- 24 3 1/2' HIGH HEDGE (TYP.)

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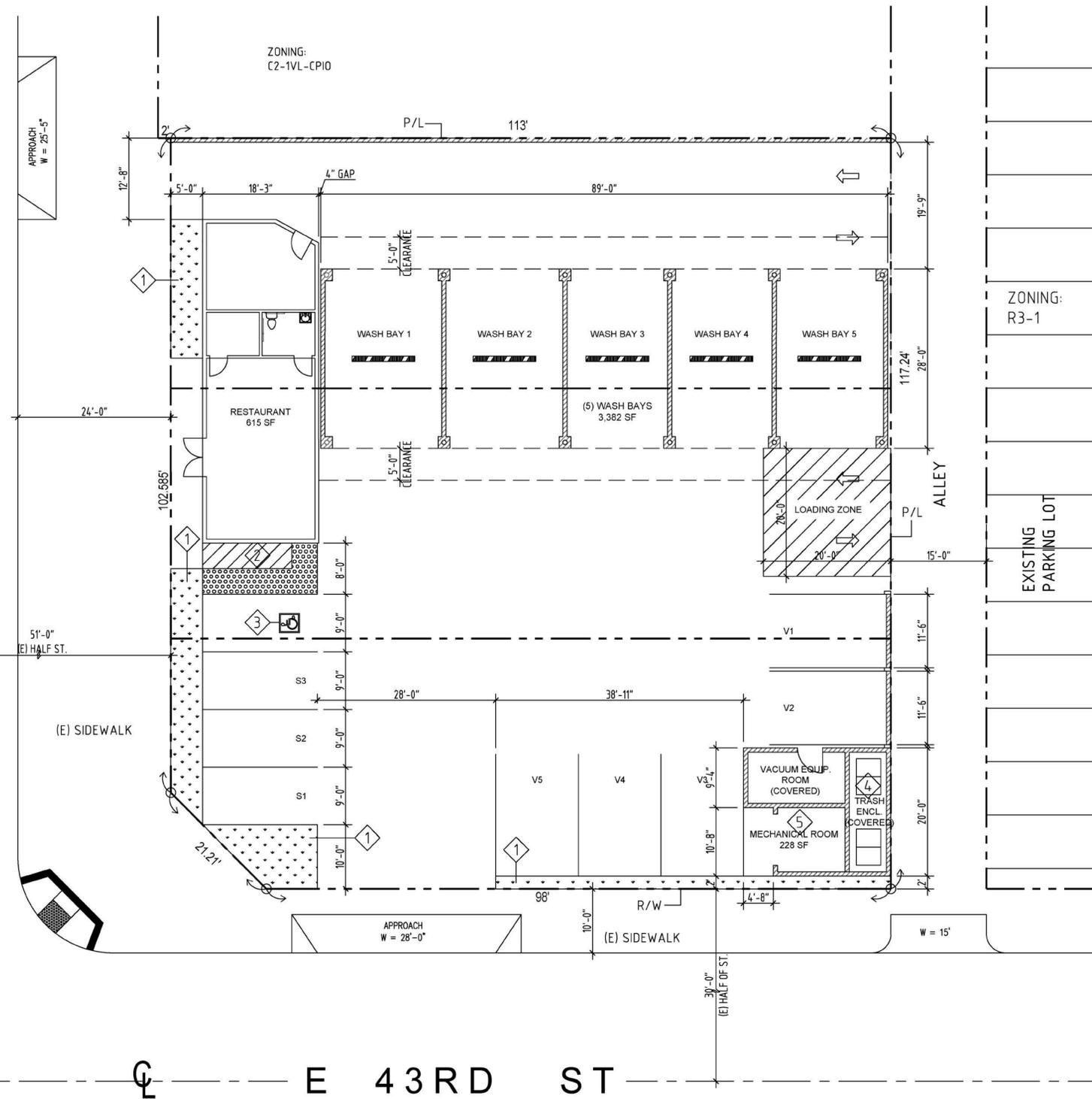
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AND CARWASH
ADDRESS: 4270 S VERMONT AVE, LOS ANGELES, CA 90037



SHEET CONTENTS: PROPOSED SITE PLAN		
Date:	03.05.2020	
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Drawn:	KH	
Job No.:	4247	
DATE LOG-REVISIONS		
REV	DATE	DESCRIPTION
Sheet	AS-1	
of		

VERMONT AVE.



SCOPE OF WORK

DEMO ALL IMPROVEMENTS
& CAP OFF SEWER LATERAL

LEGEND

- ① LANDSCAPE
- ② HANDICAP LOADING ZONE
- ③ HANDICAP PARKING SIGN
- ④ TRASH ENCLOSURE
- ⑤ TRANSFORMER

1 EXISTING SITE PLAN
SCALE: 1"=10'

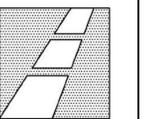


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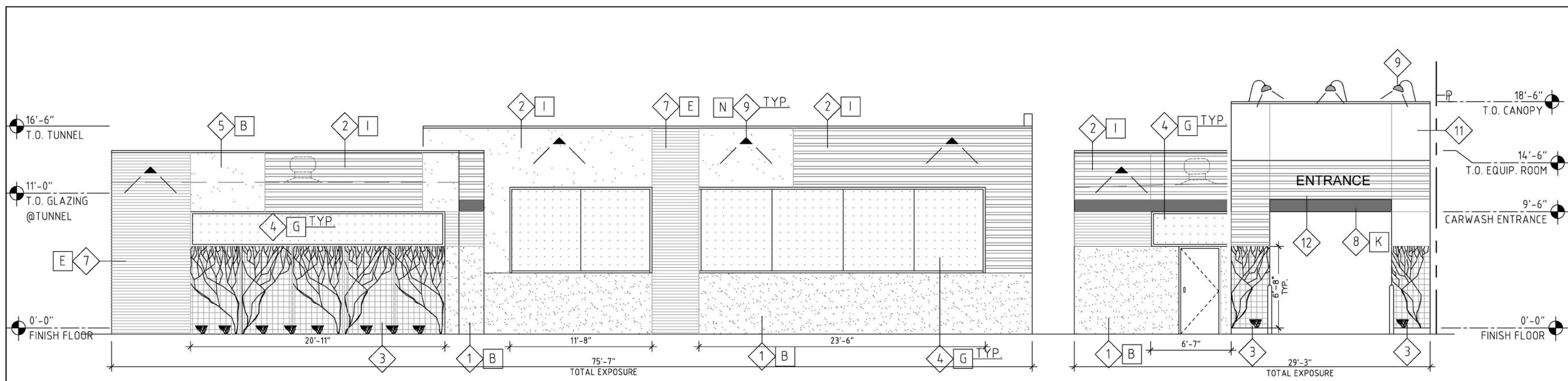
Gasoline
Retail
Facilities
Consulting

SHEET CONTENTS:
EXISTING SITE PLAN
& DEMO PLAN

Date: 03.05.2020
Scale: AS SHOWN
Drawn: KH
Job No. 4247

DATE LOG-REVISIONS	
REV	DESCRIPTION

Sheet AS-1E
of sheets

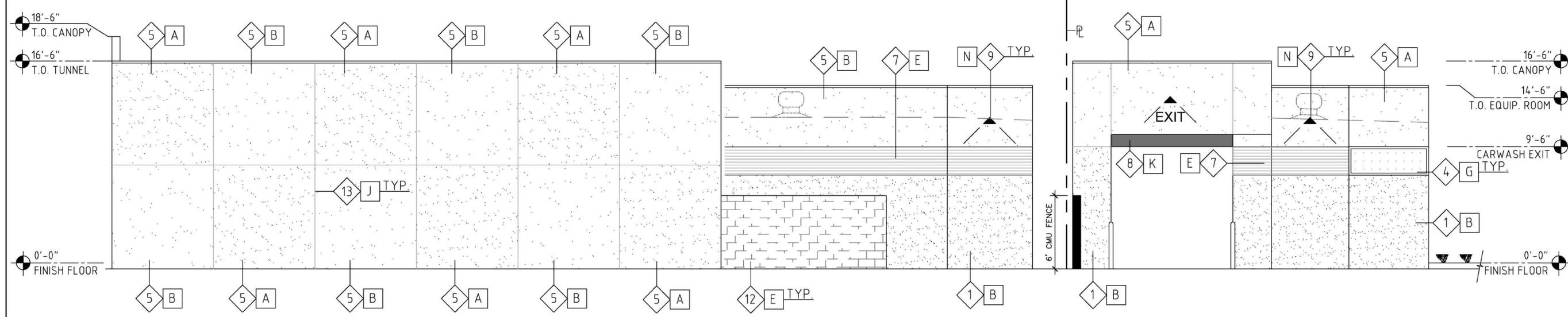


1 WEST ELEVATION
SCALE: 1/4" = 1'

WEST ELEVATION TRANSPARENCY (TO VERMONT AVE): 74.20%

2 SOUTH ELEVATION
SCALE: 1/4" = 1'

SOUTH ELEVATION TRANSPARENCY (TO E 43RD ST): 22.50%



3 EAST ELEVATION
SCALE: 1/4" = 1'

4 NORTH ELEVATION
SCALE: 1/4" = 1'

CARWASH ELEVATIONS

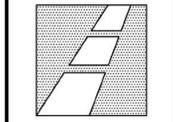
LEGEND		LEGEND	
MARK	MATERIALS	MARK	MATERIALS
1	CONC. WALL	8	ACM
2	WOOD SLOTS	9	WALL WASHER FLOOD LIGHT
3	GREEN SCREEN	10	FLUSH GLAZED STOREFRONT
4	FINISH GLAZING	11	MURAL SIGN "GRAFFITI ART"
5	STUCCO	12	CMU WALL PAINTED
6	STEEL DOOR (PAINTED)	13	CONTROL JOINT
7	THIN BRICK	14	

LEGEND		LEGEND	
MARK	COLORS	MARK	COLORS
A	LIGHT BEIGE	H	CLEAR ANODIZED ALUMINUM
B	MEDIUM BEIGE	I	STAINED WOOD
C	LIGHT GREY	J	PAINT TO MATCH
D	SMOOTH STUCCO GREY	K	RED
E	PINK	L	WARM WHITE
F	NATURAL COLOR	M	PER FRANCHISE TRADE DRESS
G	CLEAR	N	WHITE

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Gasoline
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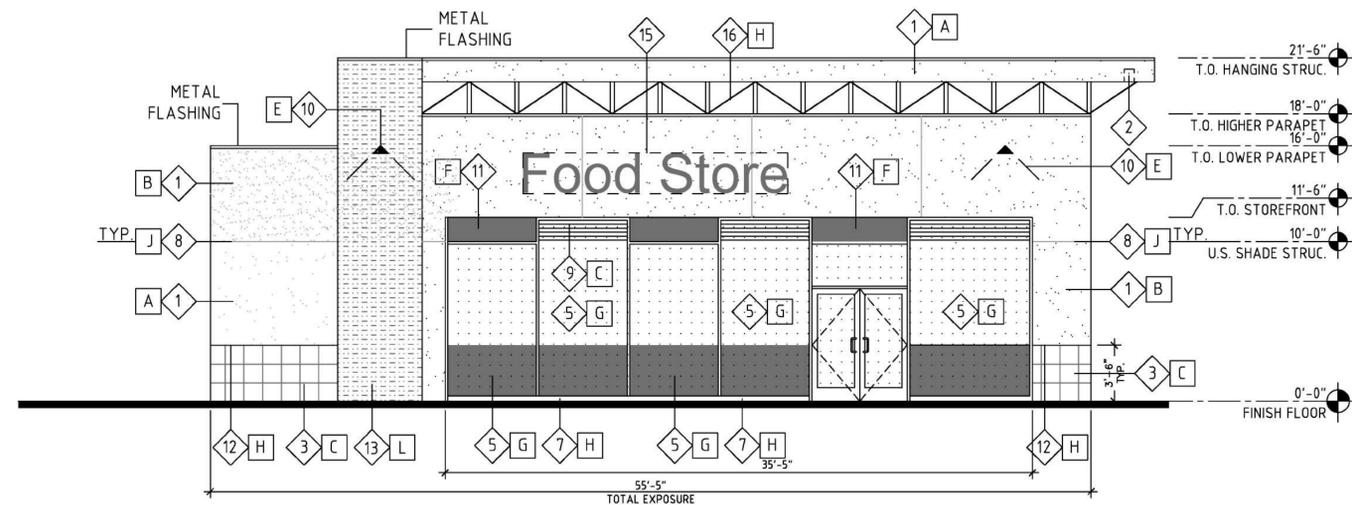
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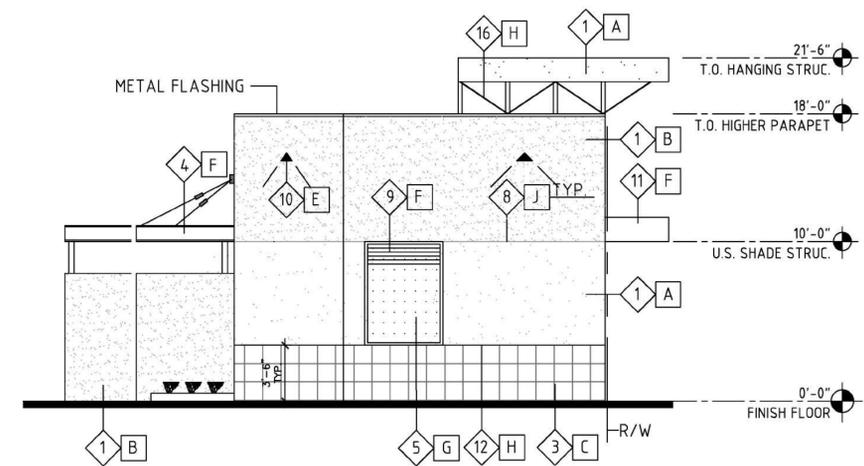
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REV	DATE	DESCRIPTION

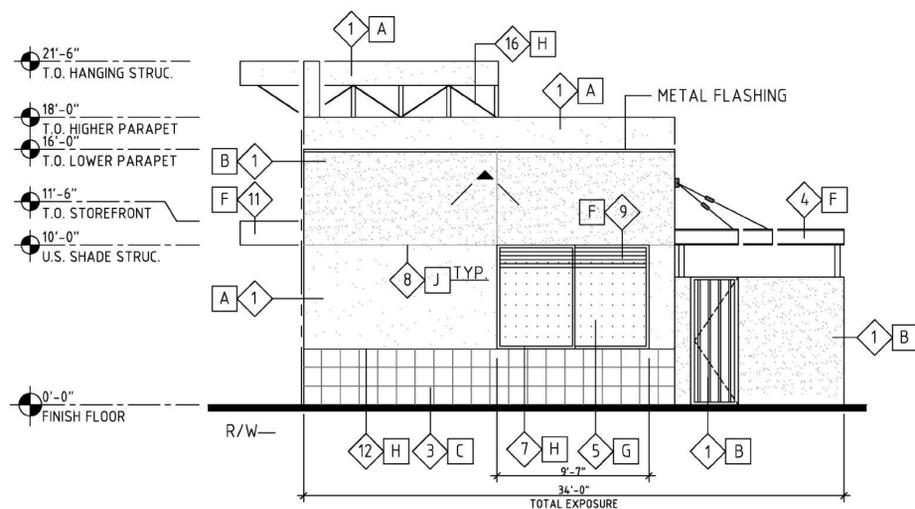
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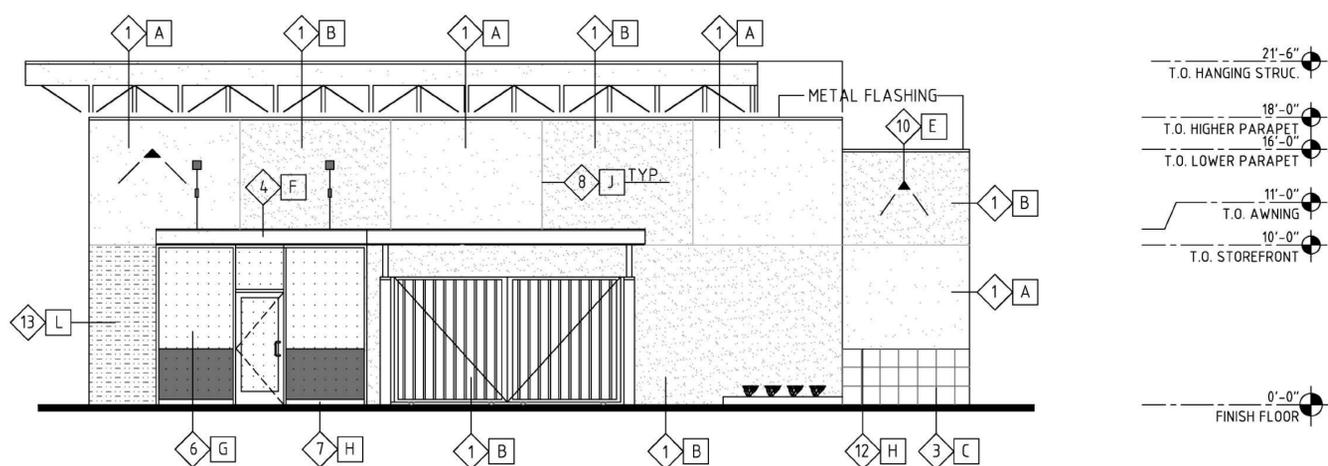
1 WEST ELEVATION (VERMONT) WEST ELEVATION TRANSPARENCY (TO VERMONT AVE): 63.91%
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION SOUTH ELEVATION TRANSPARENCY (TO E 43RD ST): 28.18%
SCALE: 1/4" = 1'-0"



4 EAST ELEVATION
SCALE: 1/4" = 1'-0"

LEGEND

MARK	MATERIALS	MARK	MATERIALS
1	STUCCO-SMOOTH FIN	9	LOUVERS
2	RECESSED LIGHT	10	WALL WASHER LIGHT
3	CEMENT PANEL	11	ACM
4	AWNING	12	FRY REGLET REVEAL
5	GLAZING	13	THIN BRICK
6	SPANDREL GLASS	14	CONCRETE
7	ALUM STOREFRONT	15	SIGN(SEPARATE REVIEW & PERMIT REQUIRED)
8	CONTROL JOINT	16	STEEL TRUSSES

LEGEND

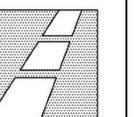
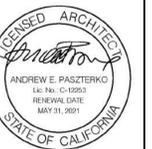
MARK	COLORS	MARK	COLORS
A	LIGHT BEIGE	I	STAINED WOOD
B	MEDIUM BEIGE	J	PAINT TO MATCH
C	LIGHT GREY	K	RED
D	OMIT	L	PINK
E	BLACK	M	PER FRANCHISE TRADE DRESS
F	YELLOW	N	WHITE
G	CLEAR		
H	CLEAR ANODIZED ALUMINUM		

DOCUMENT PREPARED BY:
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PROJECT TITLE:
NEW GAS STATION, FOOD STORE
AND CARWASH

ADDRESS: 4270 S VERMONT AVE, LOS ANGELES, CA 90037



Gasoline
Retail
Facilities
Consulting

SHEET CONTENTS:
FOOD STORE
ELEVATIONS

Date: 03.05.2020

Scale: AS SHOWN

Drawn: KH

Job No. 4247

DATE LOG-REVISIONS

REV DATE DESCRIPTION

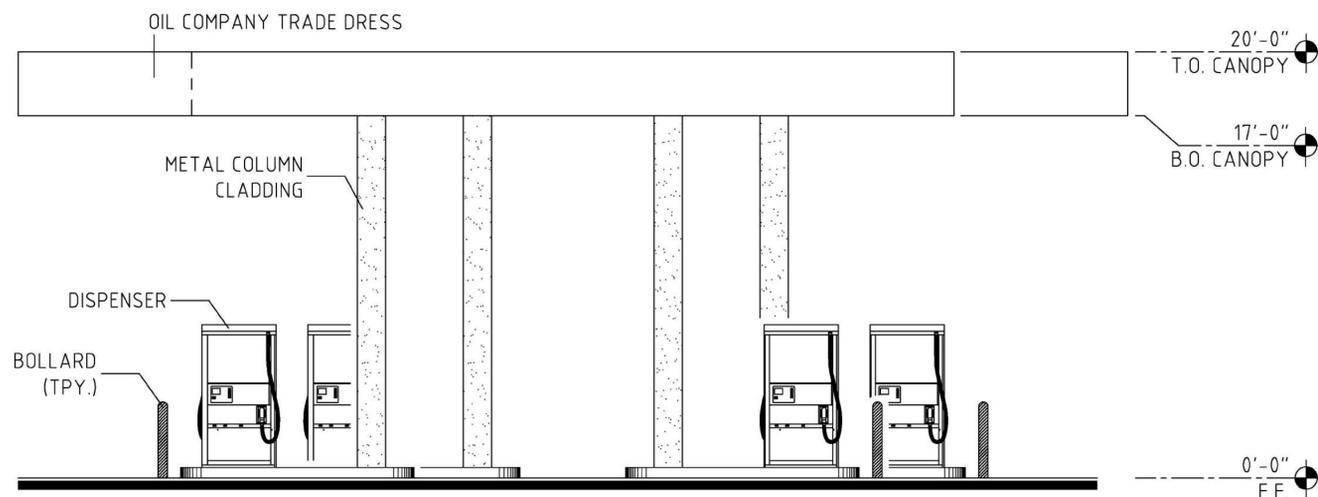
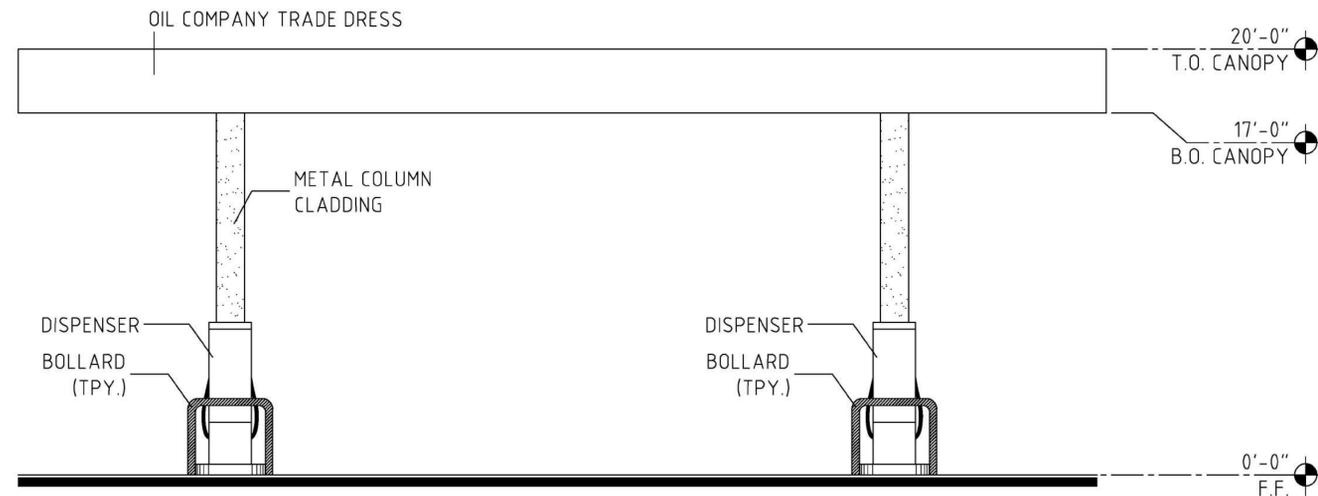
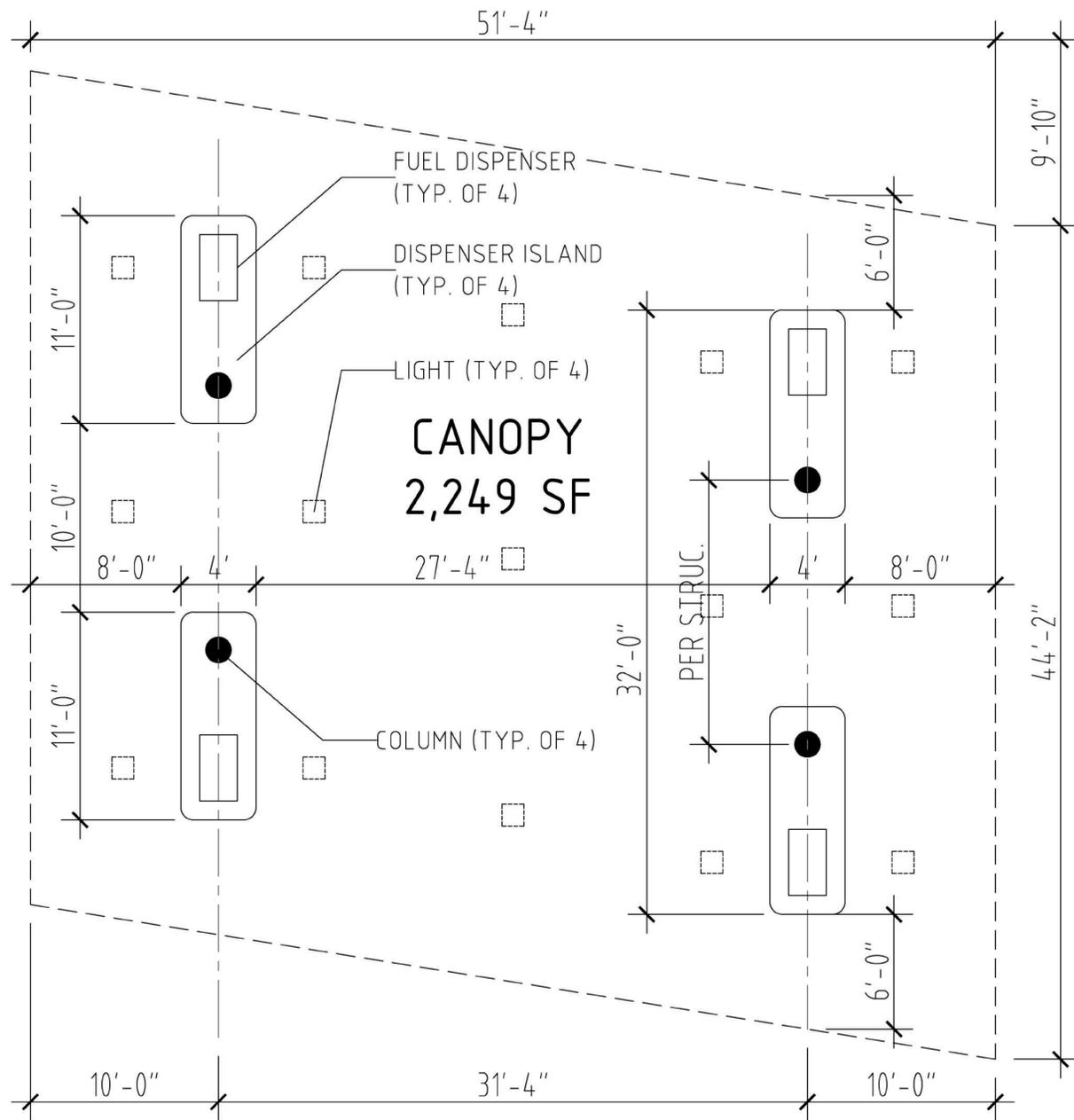
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▲

▲

Sheet A-202

of sheets



DOCUMENT PREPARED BY:
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PROJECT TITLE:
**NEW GAS STATION, FOOD STORE
AND CARWASH**
ADDRESS: 4270 S VERMONT AVE, LOS ANGELES, CA 90037



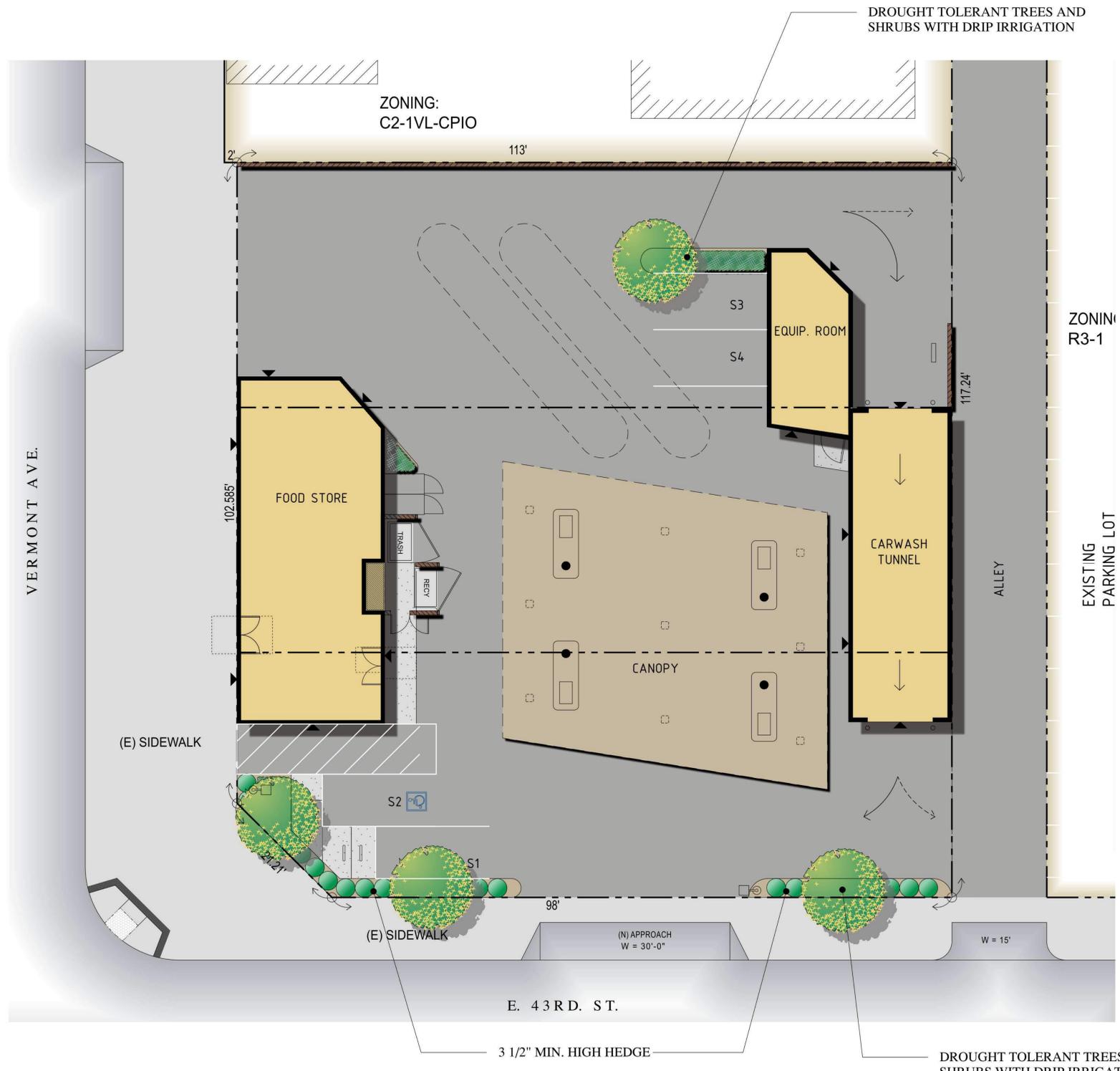
SHEET CONTENTS:
CANOPY PLAN & ELEVATIONS

Date:	03.05.2020
Scale:	AS SHOWN
Drawn:	KH
Job No.:	4247

DATE LOG-REVISIONS

REV	DATE	DESCRIPTION

Sheet **A-301** of sheets



PLANTING LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS
TREES:					
	GEUJERIA PARVIFLORA	AUSTRALIAN WILLOW	24" BOX	4	LOW
SHRUBS:					
	MYRSINE AFRICANA	AFRICAN BOXWOOD	5 GAL	QTY	LOW
	NANDINA DOMESTICA	HEAVENLY BAMBOO	5 GAL	QTY	LOW
	LAVANDULA ANGUSTIFOLIA	ENGLISH LAVENDER	5 GAL	QTY	LOW
	PHORMIUM TENAX	NEW ZEALAND FLAX	5 GAL	QTY	LOW
	SALVIA GREGGII	AUTUMN SAGE	5 GAL	QTY	LOW
GROUNDCOVERS:					
	3" MULCH BED	REDWOOD MULCH			

IRRIGATION & PLANTING NOTES:

1. ALL LANDSCAPE AREAS SHALL RECEIVE A WATER CONSCIOUS AUTOMATIC IRRIGATION SYSTEM. DRIP IRRIGATION SHALL BE UTILIZED WHERE EVER APPROPRIATE.
2. ALL ON - SITE PLANTING AND IRRIGATION SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY AND HEALTH APPEARANCE.
3. ALL UNSIGHTLY SITE APPARATUS SHALL BE SCREENED WITH 5 GALLON SHRUBS OR GREATER (BACK FLOW PREVENTERS, TRANSFORMERS, GAS METERS, AC UNITS ETC.)
4. THE CRITERIA OF CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE WILL BE CALCULATED & PROVIDED TO ASSURE COMPLIANCE OF EFFICIENT USE OF WATER WITHIN THE NEW DESIGNED LANDSCAPE PLAN

TREES AND SHRUB PHOTOS



GEUJERIA PARVIFLORA, AUSTRALIAN WILLOW



NANDINA DOMESTICA, HEAVENLY BAMBOO



MYRSINE AFRICANA, AFRICAN BOXWOOD



LAVANDULA ANGUSTIFOLIA, ENGLISH LAVENDER



PHORMIUM TENAX, NEW ZEALAND FLAX



SALVIA GREGGII, AUTUMN SAGE

CLIENT:
GASOLINE RETAIL FACILITIES CONSULTING
 2055 NORTH ALVARADO STREET
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PRELIMINARY LANDSCAPE PLAN

NEW GAS STATION, FOOD STORE AND CARWASH
 4270 S. VERMONT AVE. LOS ANGELES, CA 90037

OVERALL PLAN

Segura Associates, Inc.
 Landscape Architecture · Land Planning · Urban Design
 PO Box 964 T. (909) 624-2700
 LA Verne, CA 91750 E. info@segurala.com

DATE 3-9-20 PROJECT # 20.07

